



Cleveland Landmarks Commission

Thursday, January 26, 2023

**** PLEASE MUTE YOUR MICROPHONE ****

Julie Trott, Commission Chair
Daniel A. Musson, Secretary

Cleveland Landmarks Commission

Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

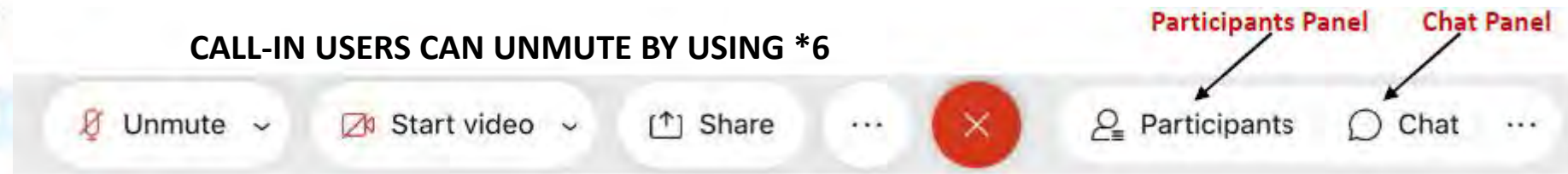
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING *6



January 26, 2023

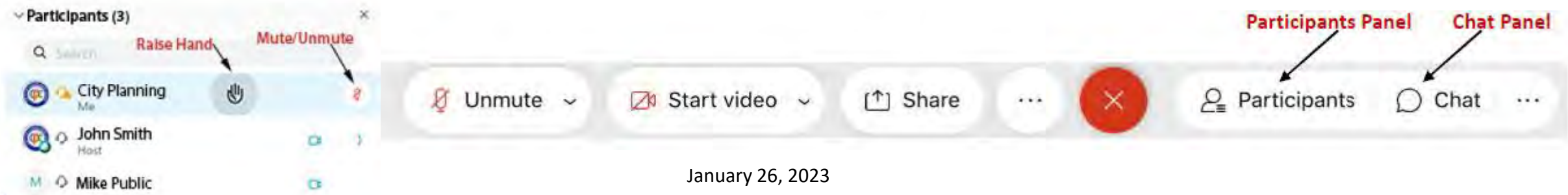
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



Cleveland Landmarks Commission

Call to Order & Roll Call



January 26, 2023

Virtual Meeting Rules and Procedures

January 26, 2023



- Each project is considered on a case-by-case basis.
- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission, in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Landmarks staff to summarize Design Review Committee recommendations and any public comments received: The deadline for public comments is noon on the Tuesday prior to any regularly scheduled Cleveland Landmarks Commission meeting. Any received comments are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

Cleveland Landmarks Commission

Certificates of Appropriateness



January 26, 2023

Certificate of Appropriateness

January 26, 2023



Case 23-004: Market Square Historic District

2011 West 25th Street

ATM Installation and Signage

Ward 3: McCormack

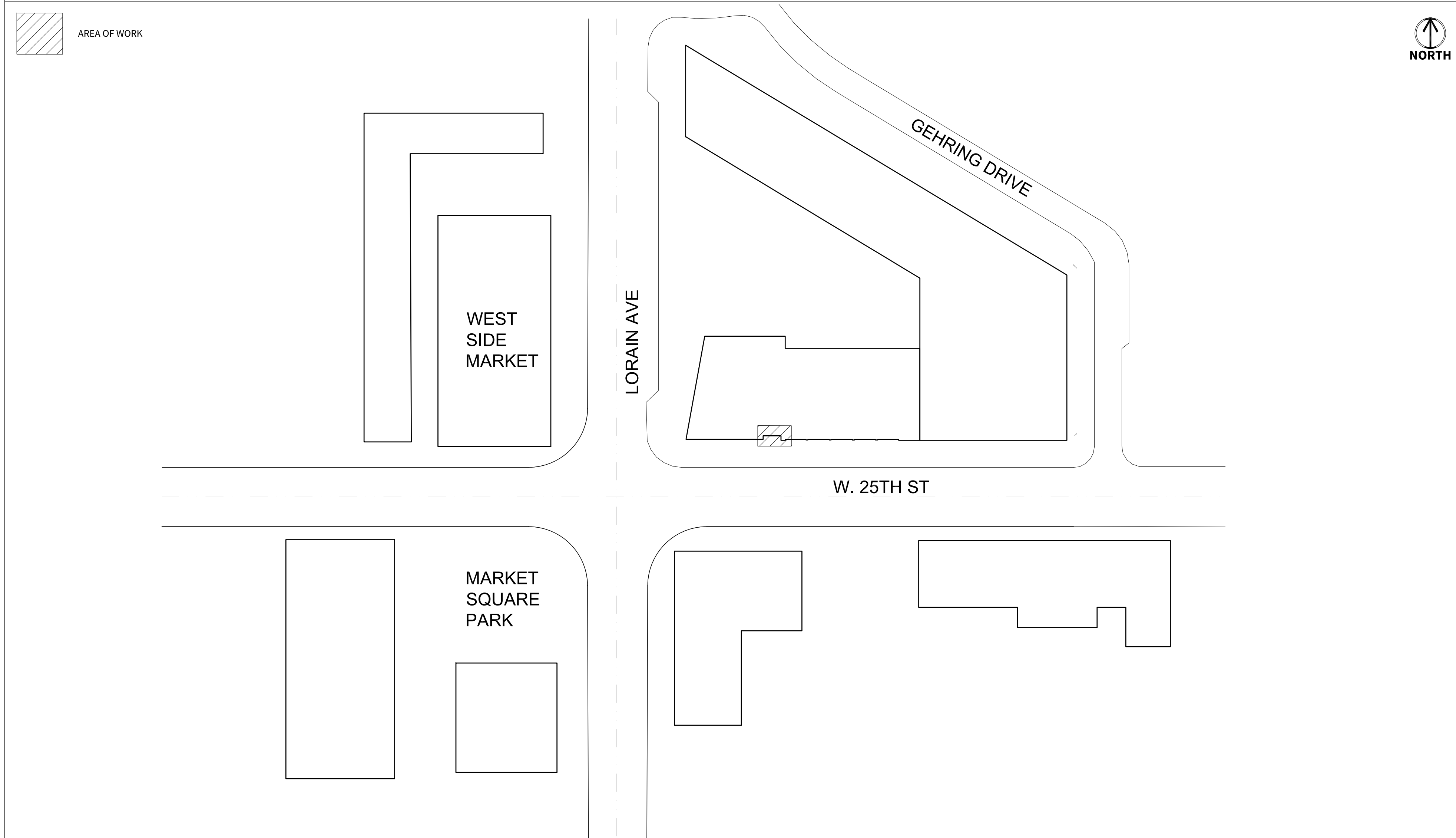
Project Representatives: Ben Gingrich, Mickey Petrucz (HSB Architects)



NEW WALK UP ATM KIOSK

WEST 25TH STREET & LORAIN AVE

AREA OF WORK



DRAWING INDEX

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
ARCHITECTURAL					
T1.0	TITLE SHEET				
AS1.0	ENLARGED SITE PLAN				
A1.0	ENLARGED PLANS & DETAILS				
A2.0	ELEVATIONS				
A2.1	COLORED ELEVATIONS				
A3.0	DIEBOLD SERIES 490 DRIVE UP ATM SPECIFICATIONS				
ELECTRICAL					
E1.0	RISER DIAGRAM AND PANEL SCHEDULES				
E2.0	SPECIFICATIONS				



**ARCHITECTS
+ ENGINEERS**
1250 OLD RIVER ROAD, SUITE #201
CLEVELAND, OHIO 44113
WWW.HSBARCH.COM



Expiration: Dec. 31, 2023
Ben Gingrich

LOCATION MAP



PROJECT DESCRIPTIONS

UPGRADING AN EXISTING DRIVE-UP ATM KIOSK AND CANOPY.

PROJECT DIRECTORY

PROJECT CONTACT	ARCHITECT	ENGINEER
MICKEY PETRUCZ HSB ARCHITECTS + ENGINEERS 1250 OLD RIVER RD CLEVELAND OH, 44113 MPETRUCZ@HSBARCH.COM 216-470-4134	BEN GINGRICH HSB ARCHITECTS + ENGINEERS 1250 OLD RIVER RD CLEVELAND OH, 44113 BGINGRICH@HSBARCH.COM 216-325-1351	PETER KAMIS HSB ARCHITECTS + ENGINEERS 1250 OLD RIVER RD CLEVELAND OH, 44113 PKAMIS@HSBARCH.COM 216-325-0575
OWNER BRUCE DANKO KEYBANK 127 PUBLIC SQUARE CLEVELAND OH, 44114 BRUCE_F_DANKO@KEYBANK.COM 216-471-2571		

DATE	ISSUE
12/5/2022	PERMIT SET

DRAWN BY: MP
JOB NO. 22375

**KEYBANK DRIVE-UP ATM
NEW WALK-UP ATM & CANOPY**

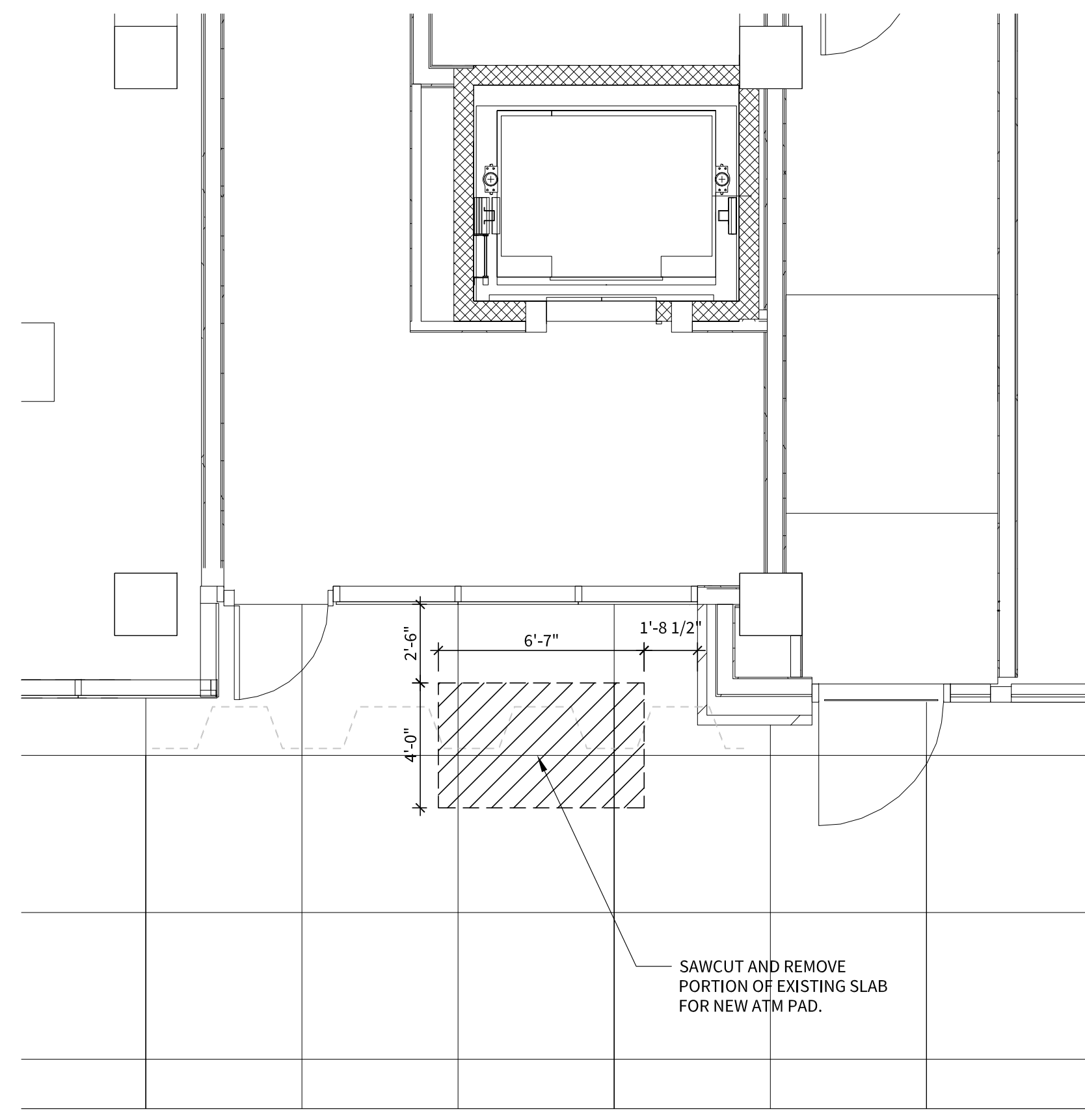
2011 W 25TH ST,
CLEVELAND, OH 44113

© KeyBank02 KeyBank0225th West 25th and Lorain Ave. 12/5/2022 3:54 PM. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED WITHOUT THE EXPRESS WRITTEN PERMISSION OF HENIGST STEFF BALKO ARCHITECTS, INC. THE ENGINEER OR ARCHITECT DISCLAIMS RESPONSIBILITY FOR THESE PLANS AND SPECIFICATIONS IF THEY ARE ALTERED OR USED IN WHOLE OR IN PART AT ANY OTHER SITE OR PROJECT THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED.



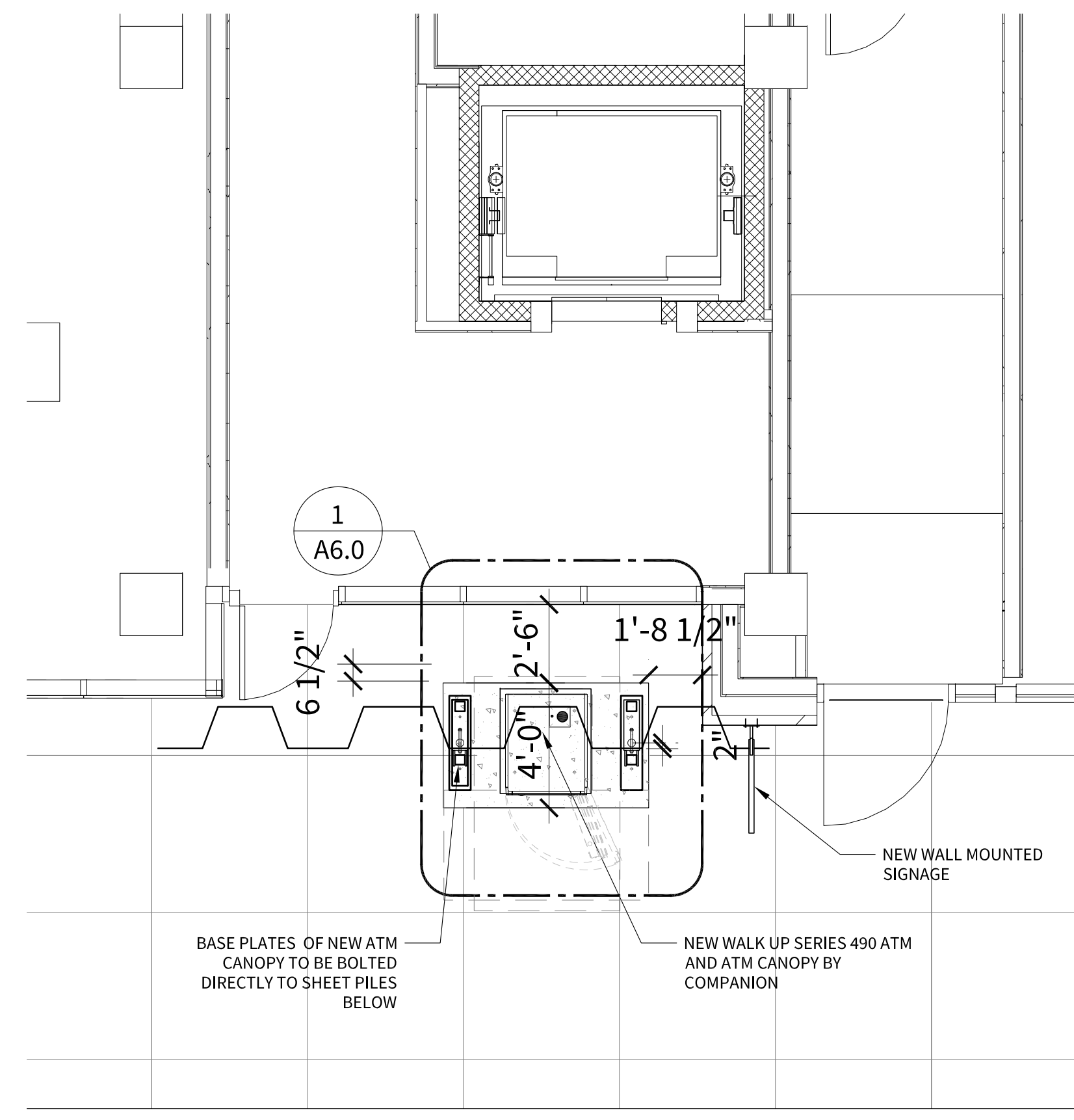
EXISTING CONDITIONS

SCALE: N.T.S. 1 A1.0



DEMO PLAN

SCALE: 1/4" = 1'-0" 1 A1.0



ATM PLAN

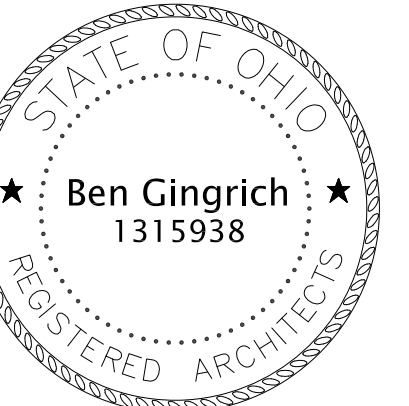
SCALE: 1/4" = 1'-0" 2 A1.0



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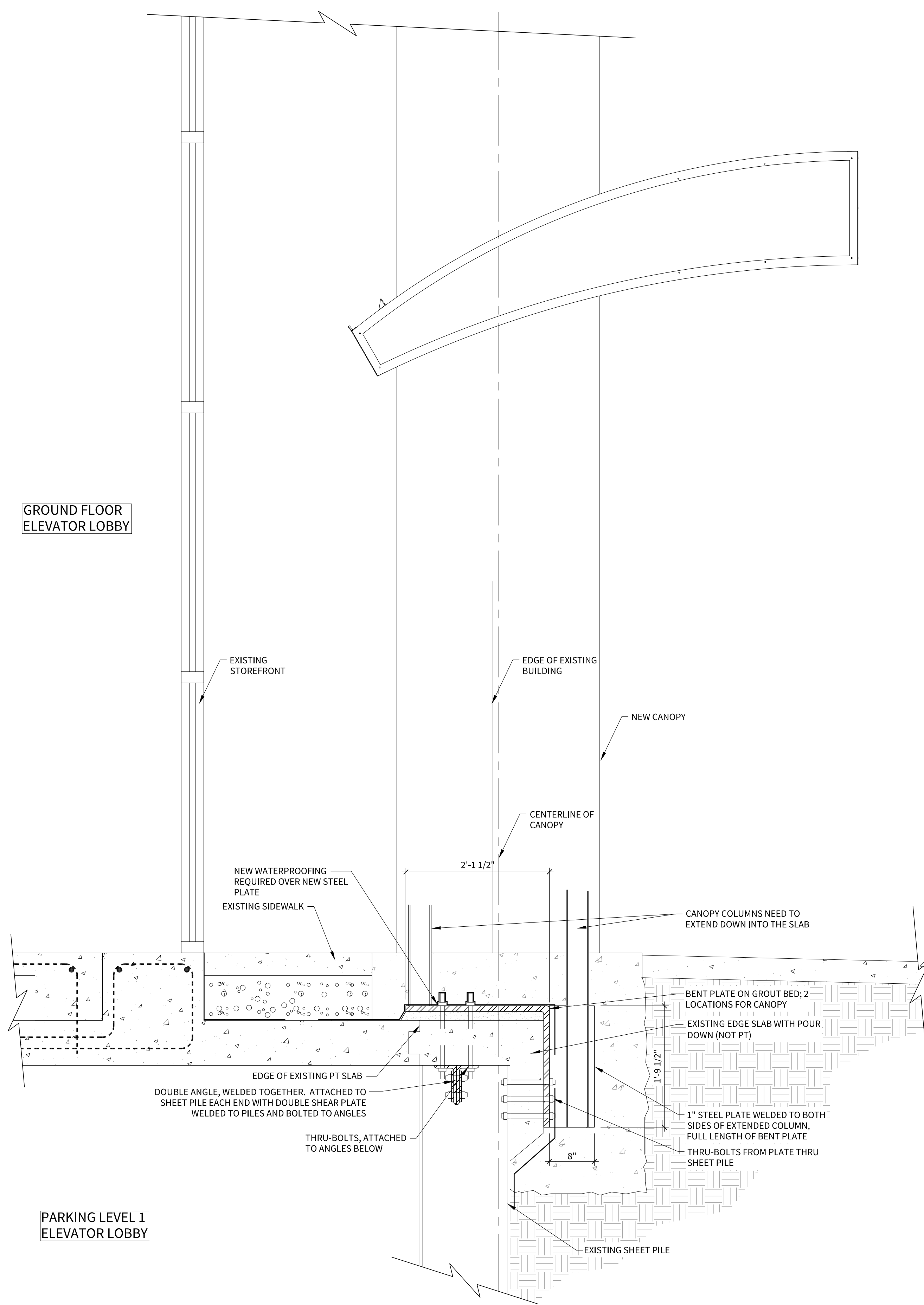
2011 W 25TH ST,
CLEVELAND, OH 44113

ENLARGED
SITE PLAN

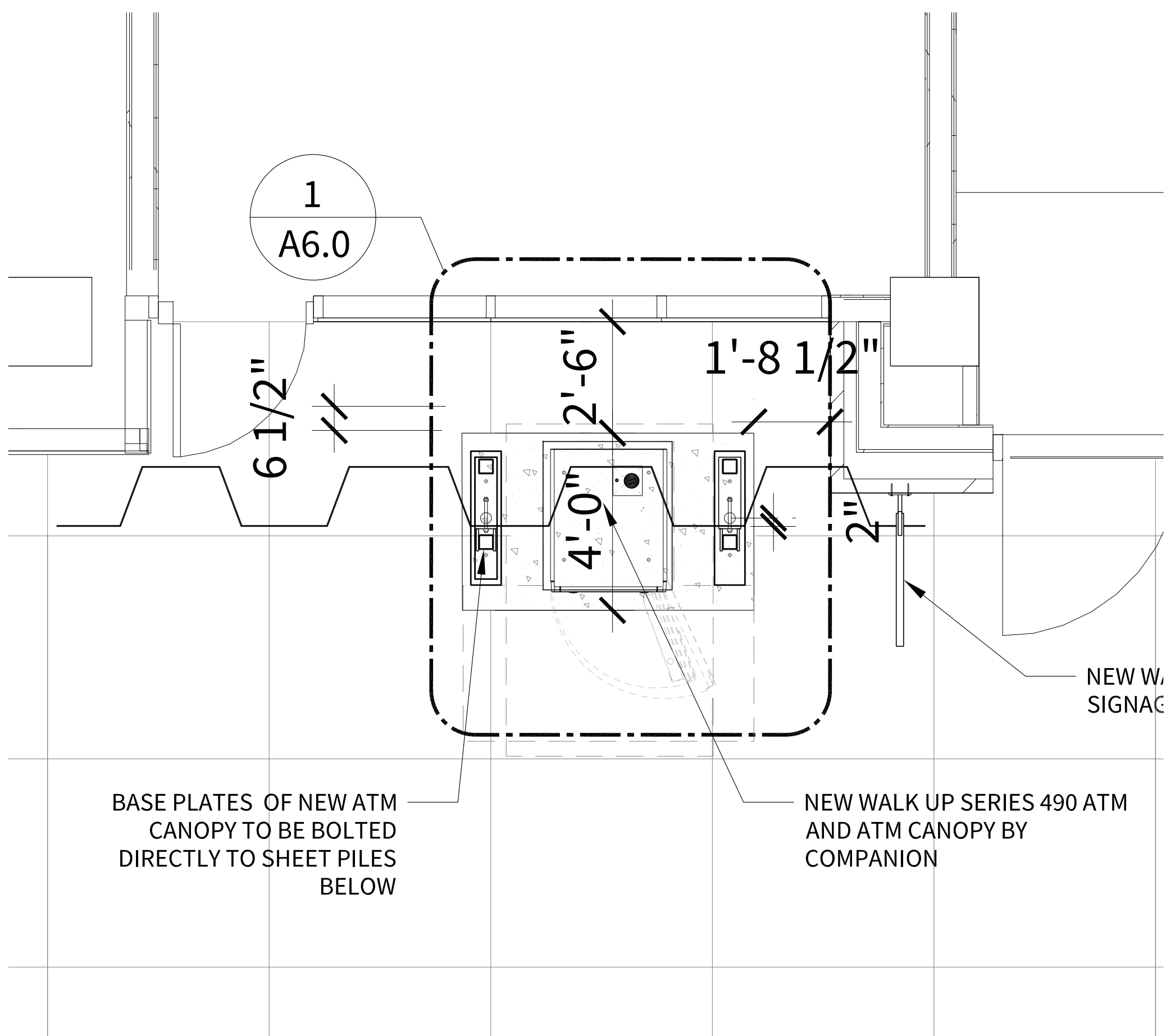
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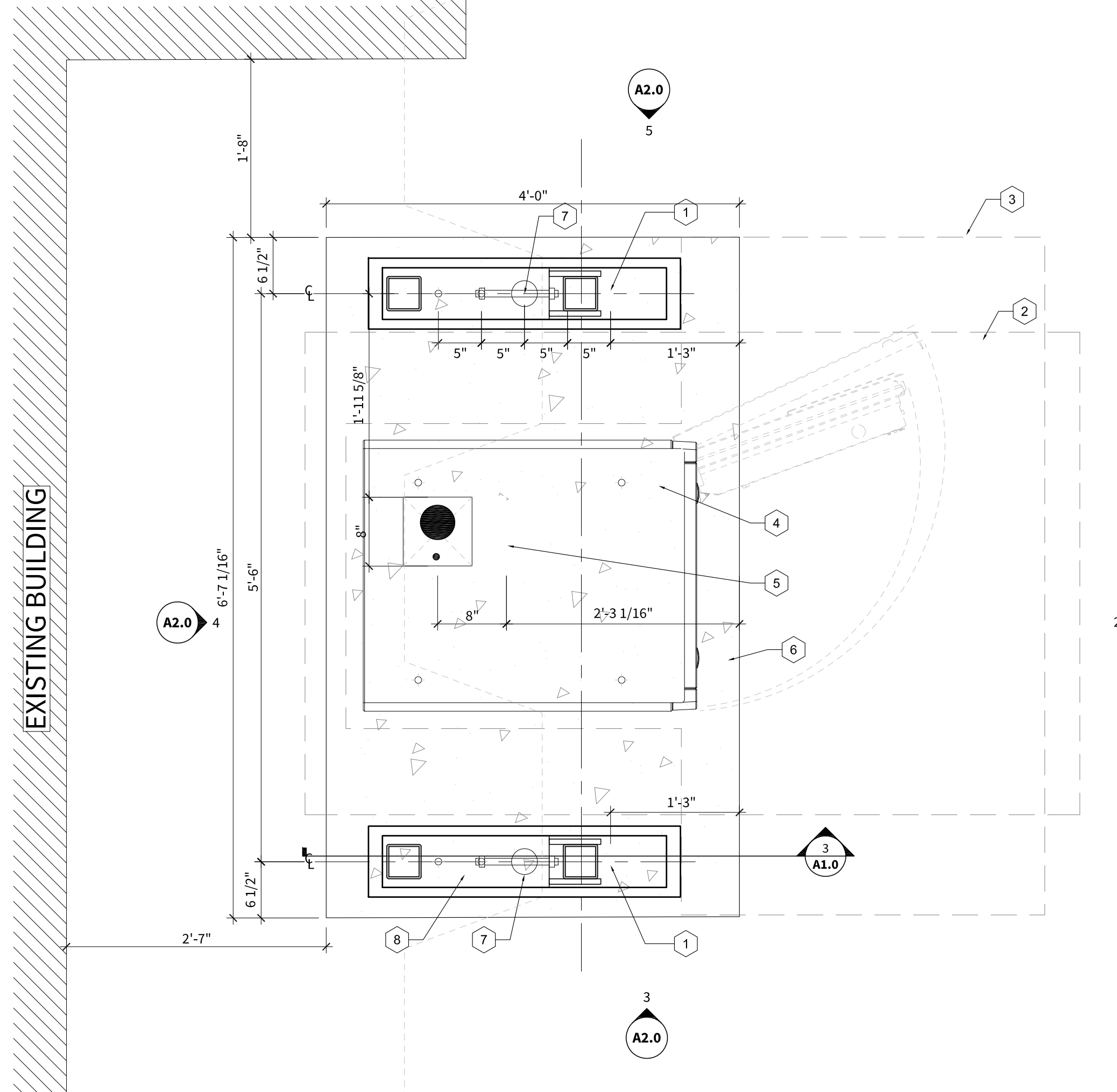
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SECTION
SCALE: 1" = 1'-0" A1.0



ATM PLAN
SCALE: 1" = 1'-0" A1.0



ATM PAD PLAN
SCALE: 1" = 1'-0" A1.0

- DRIVE-UP ATM KEYNOTES:
- 1 NEW ATM CANOPY ANCHOR BOLT LOCATIONS - 4 EACH SIDE.
 - 2 CANOPY ABOVE
 - 3 CLEARANCE REQUIRED FOR ATM SERVICE
 - 4 ATM ANCHOR BOLT LOCATIONS - SEE DIEBOLD NIXDORF ATM SPECIFICATIONS ON SHEET A4.0
 - 5 8"X8" ISLAND OPENING FOR 3/4" DIA RIGID CONDUIT FOR ATM POWER AND 4" DIA. PVC PIPE. SEE DIEBOLD NIXDORF ATM SPECIFICATIONS ON SHEET A4.0
 - 6 NEW DN SERIES 490 DRIVE-UP ISLAND ATM. SEE DIEBOLD NIXDORF ATM SPECIFICATIONS ON SHEET A4.0
 - 7 3" DIA CANOPY ELECTRICAL STUB UP
 - 8 BENT BASE PLATE BOLTED TO SHEET PILES BELOW.



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**KEYBANK DRIVE-UP ATM
NEW WALK-UP ATM & CANOPY**

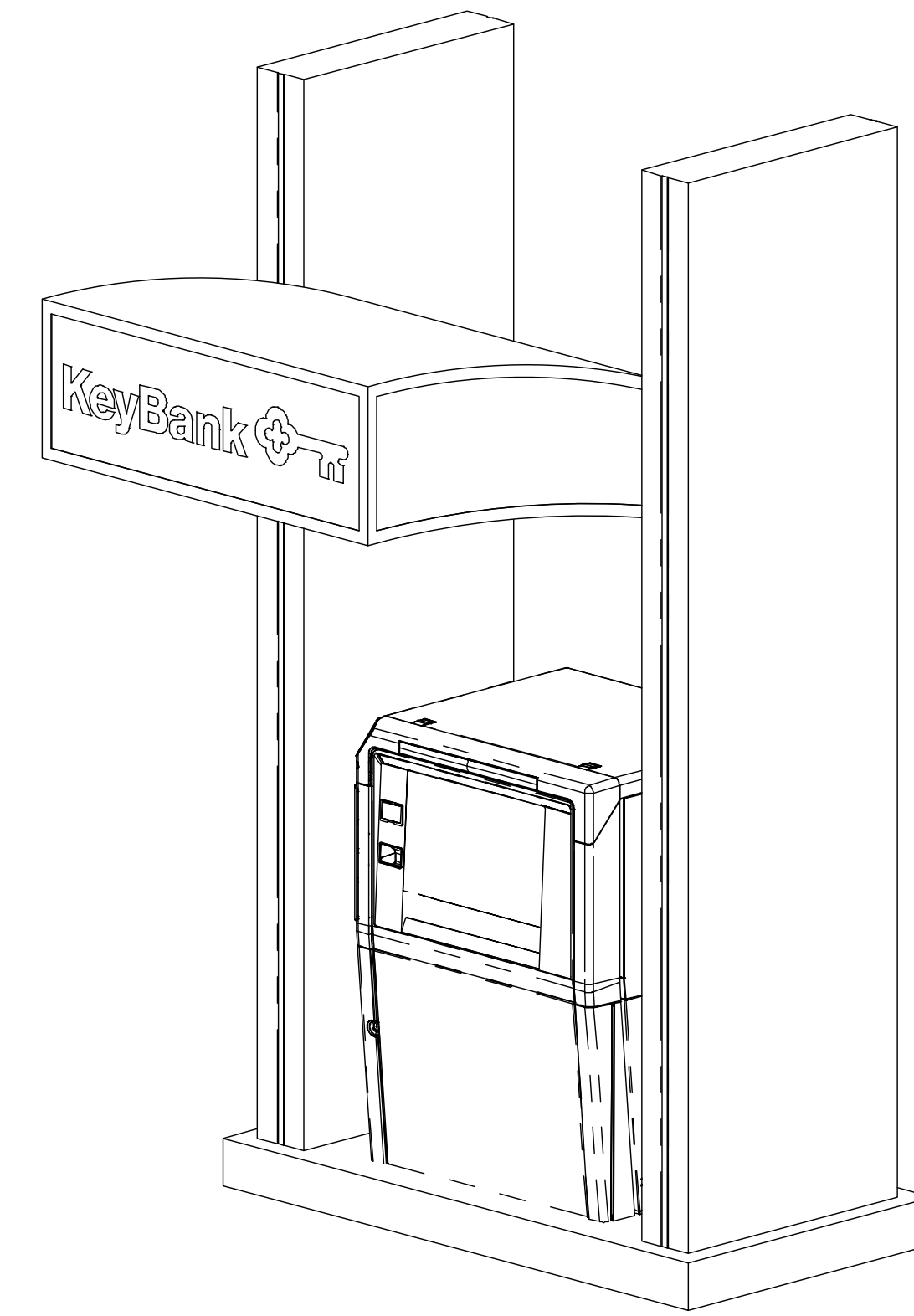
2011 W 25TH ST,
CLEVELAND, OH 44113

ENLARGED PLANS
AND ELEVATIONS

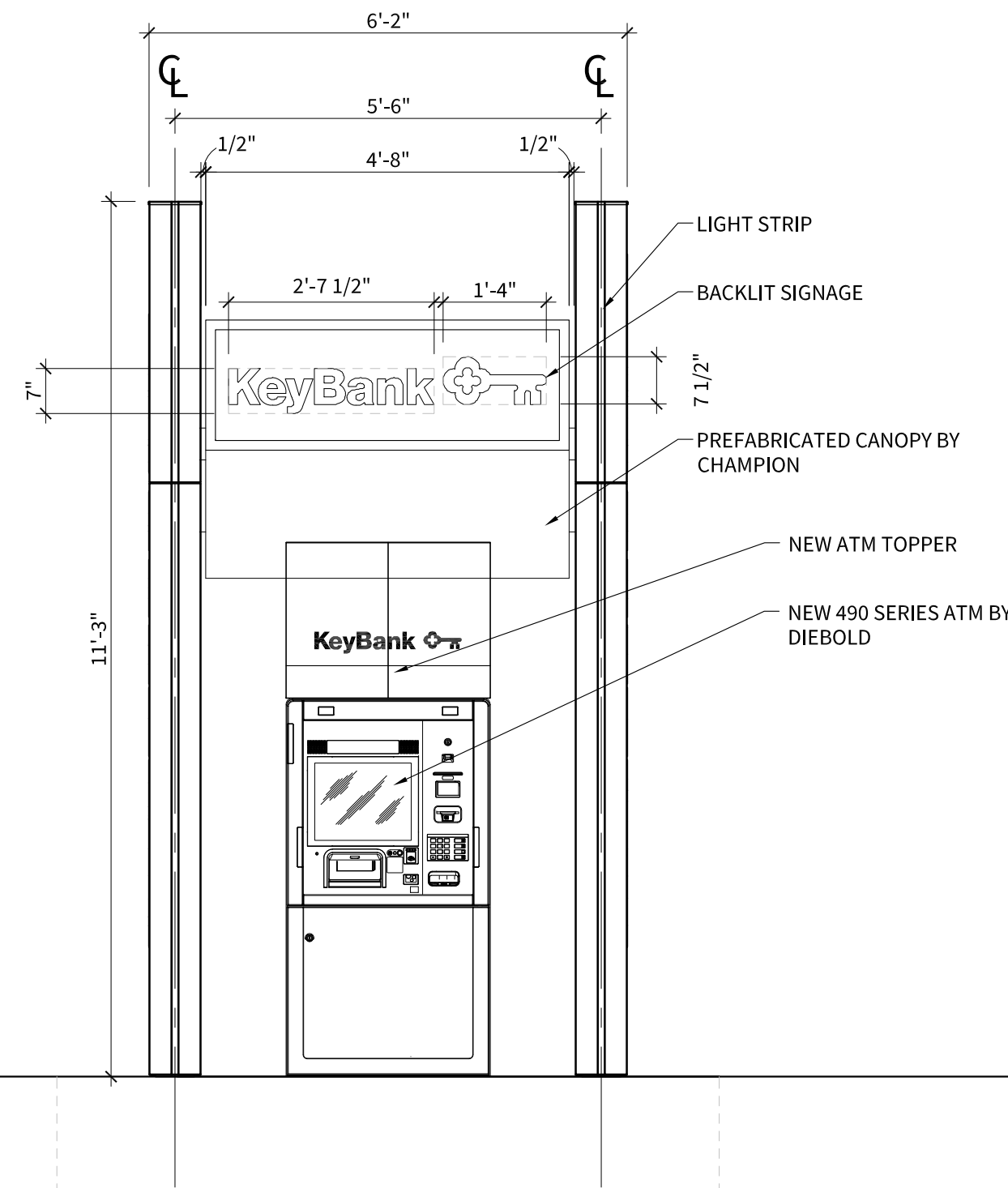
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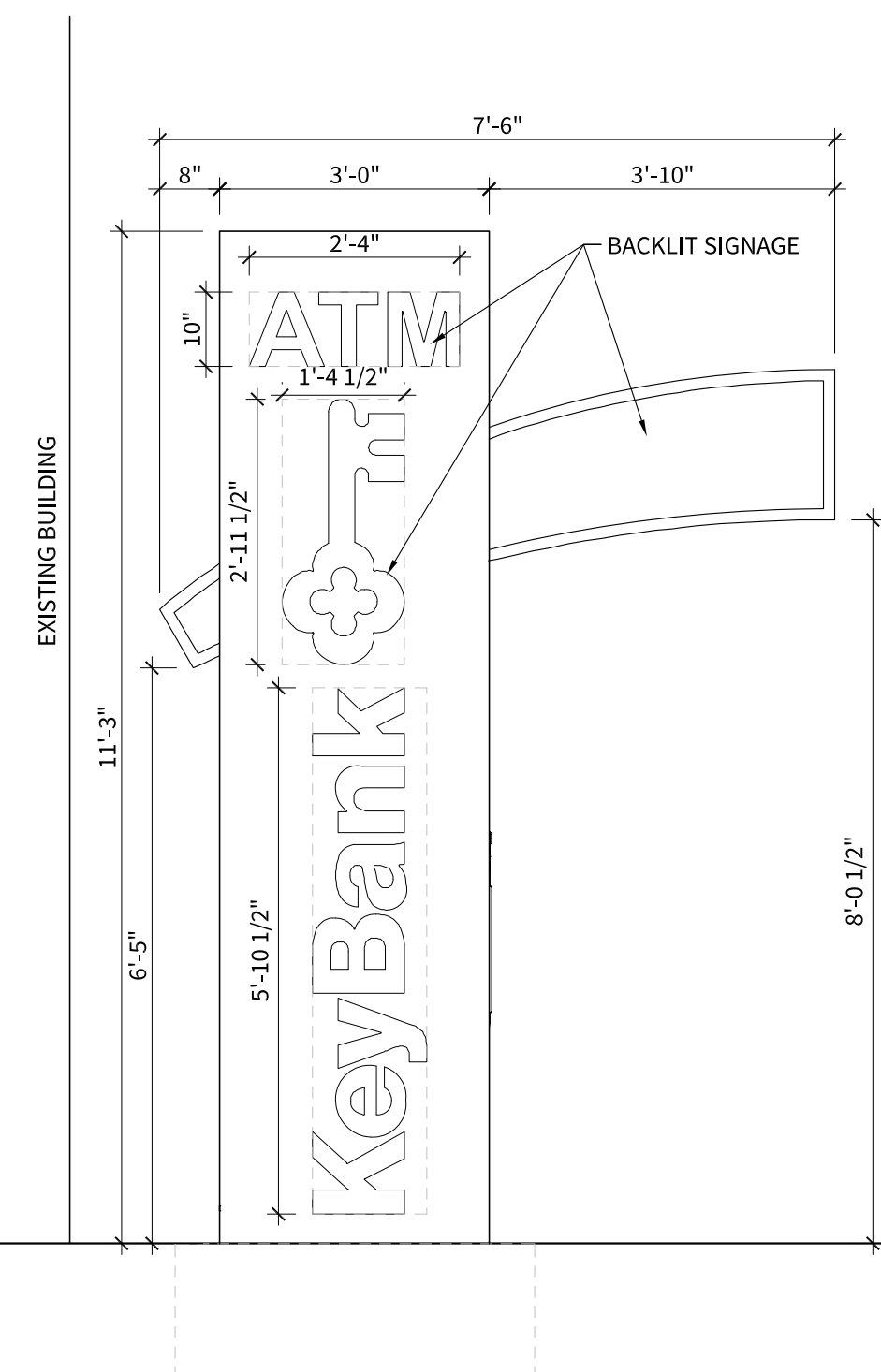
OVERALL ELEVATION 1
SCALE: 1/4" = 1'-0" A2.0



CANOPY AXO 6
SCALE: N.T.S. A2.0

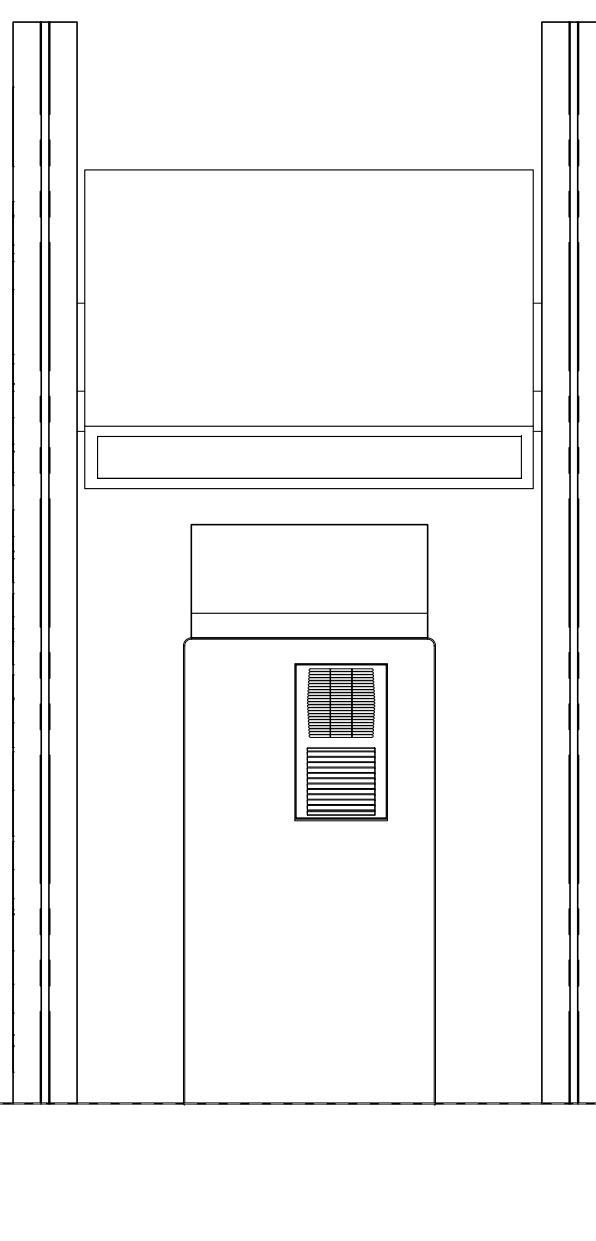


FRONT ELEVATION 2
SCALE: 1/2" = 1'-0" A2.0

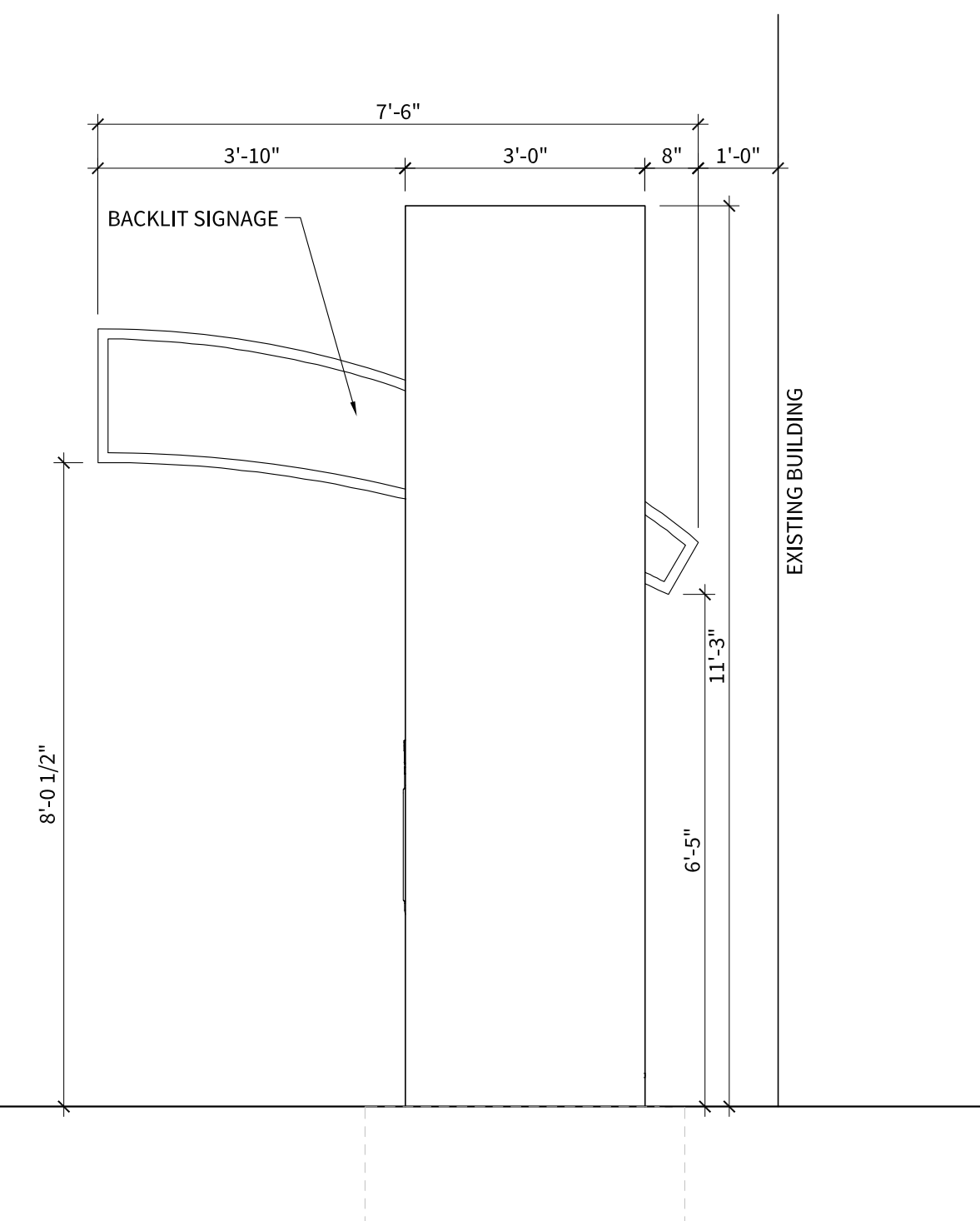


LEFT ELEVATION 3
SCALE: 1/2" = 1'-0" A2.0

XXXX SQ. FT. OF SIGNAGE ON NEW CANOPY.



REAR ELEVATION 4
SCALE: 1/2" = 1'-0" A2.0

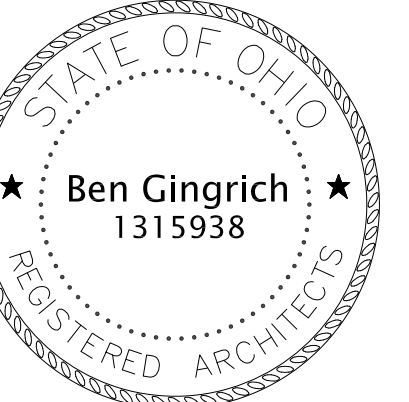


RIGHT ELEVATION 5
SCALE: 1/2" = 1'-0" A2.0



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ELEVATIONS

A2.0

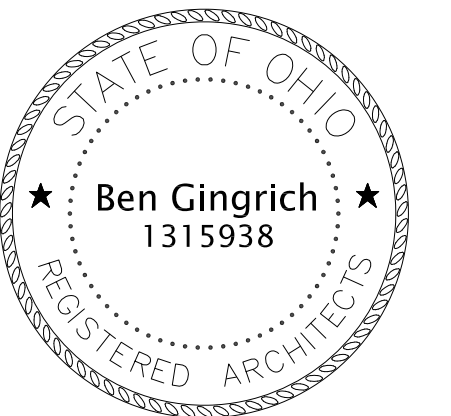
6:\keybank\22_keybank\22375\11.dwg and L:\001\1046\1046.dwg - 12/5/2022 3:58 PM
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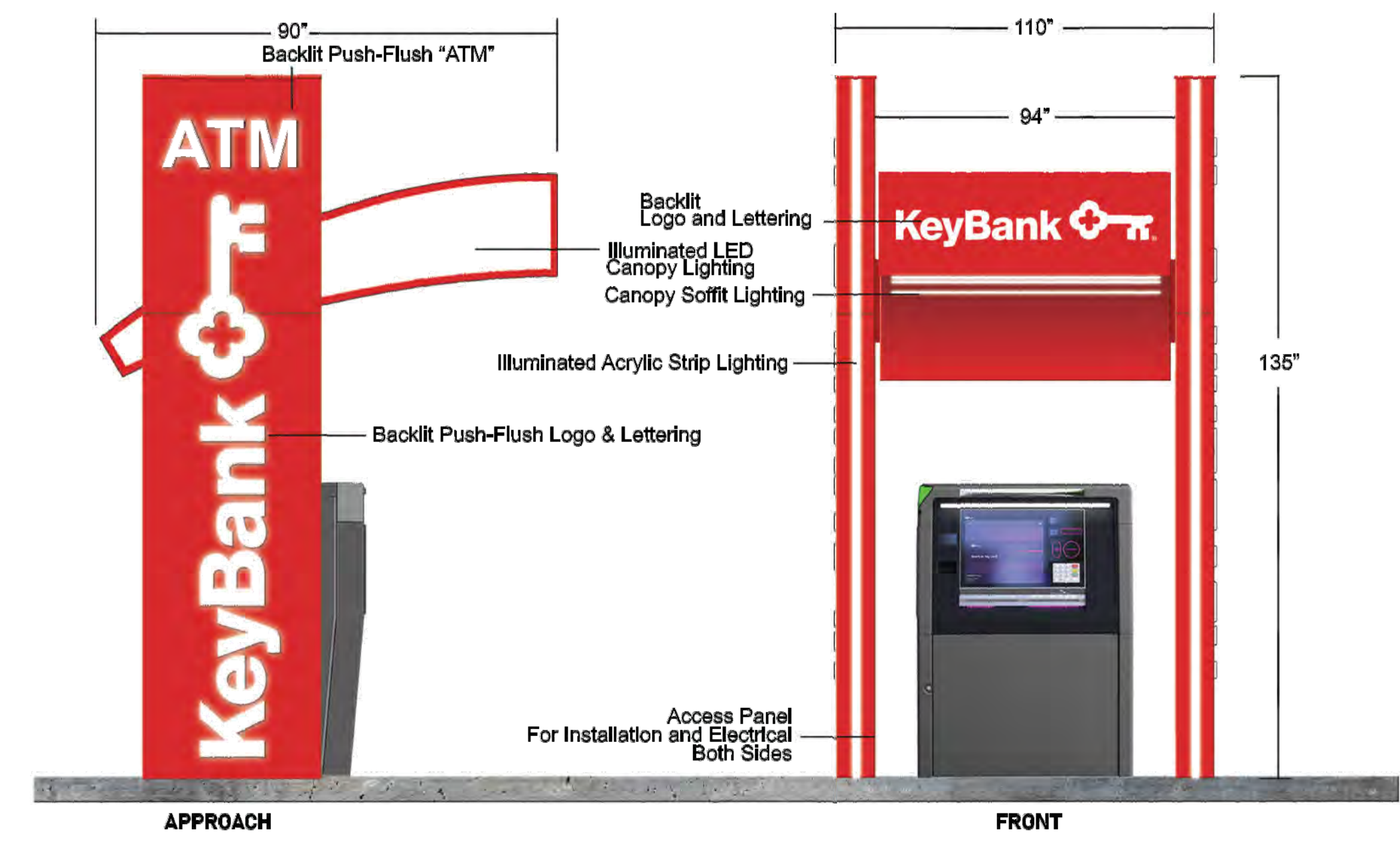


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<p>COMPANION</p> <p><small>The design represented in this document was prepared under U.S. and international copyright law and other applicable laws. All rights reserved. Any reproduction or use of this design without the express permission is prohibited. U.S. Patent #6,457,378</small></p>	<p>● 642-PH5799C</p>	<p>MODEL 5422 Canopy Maximum Signage Shown w/ 6488 ATM JULY 11, 2022 K/KeyBank 6422-MAXIMUM SIGNAGE_6488_KEY_frontr</p>	<p>COLORS: Specified / ARTWORK: Vector NETWORK GRID / FEDERAL: NA GRAPHIC PANEL: NA RENDERED BY: ABB APPROVED BY: _____ NOTES:</p>
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COLORED ELEVATIONS BY COMPANION 1
SCALE: N.T.S. A2.1

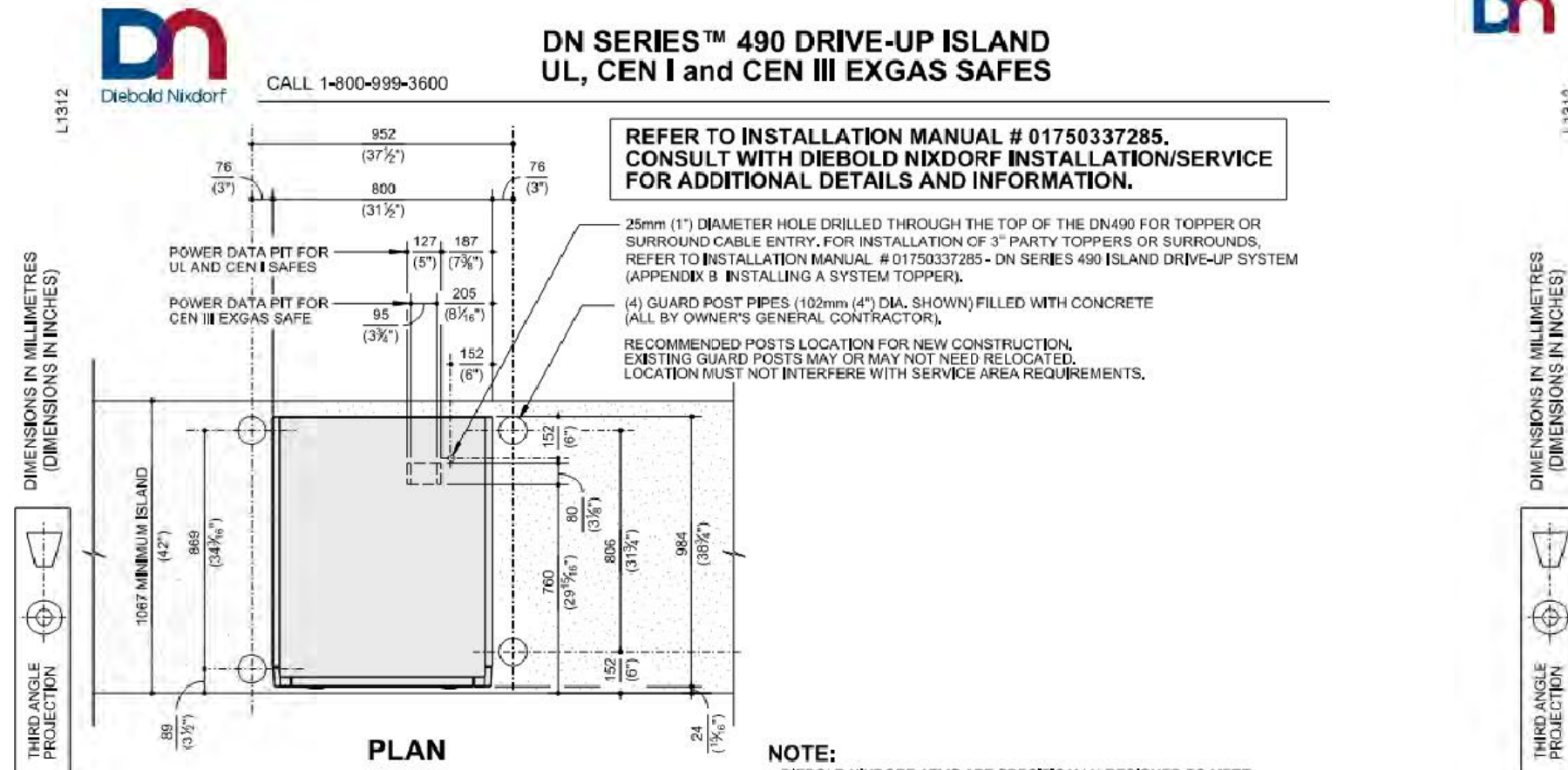
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2011 W 25TH ST,
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COLORED ELEVATIONS
BY COMPANION

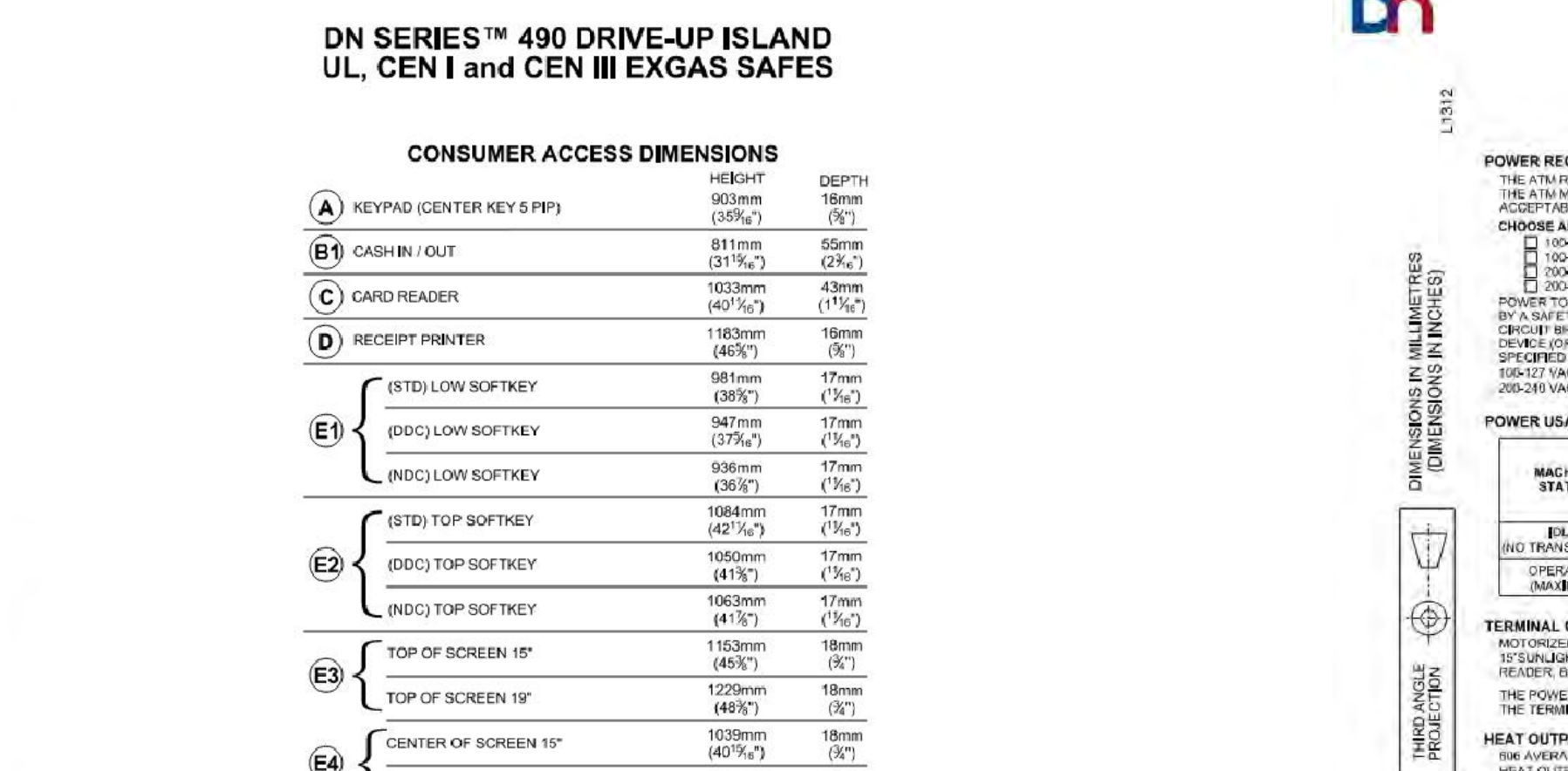
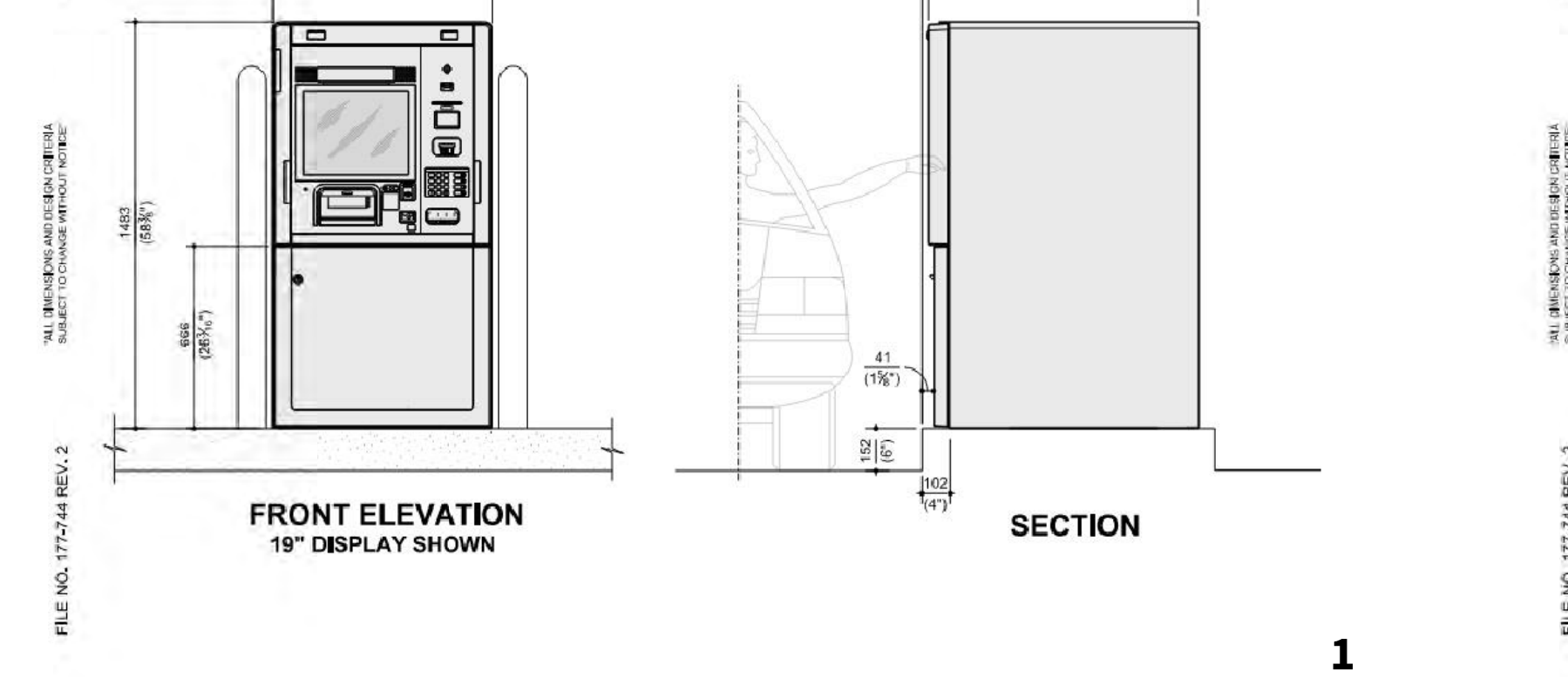
A2.1

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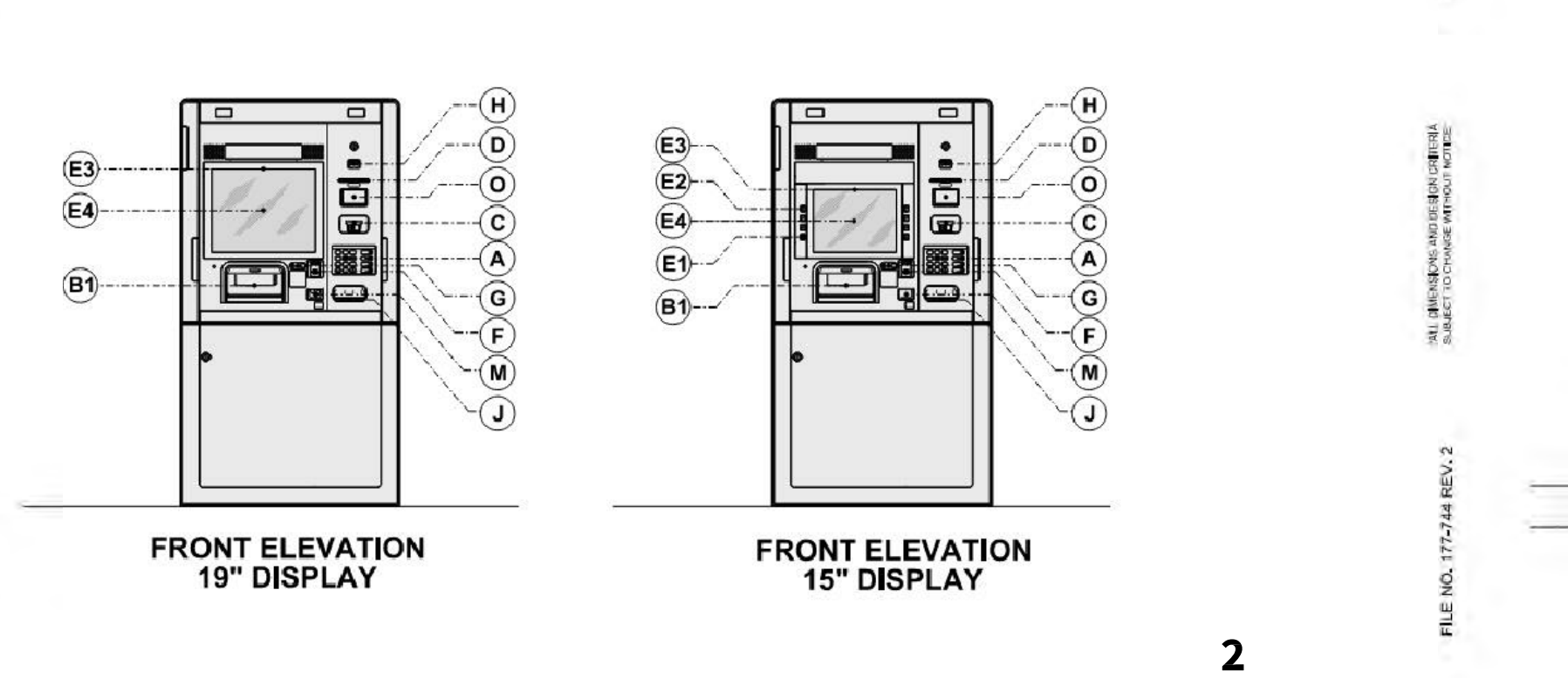
CONSUMER ACCESS DIMENSIONS

	HEIGHT	DEPTH
(A) KEYPAD (CENTER KEY 5 FPF)	903mm (35 1/2")	18mm (3/4")
(B) CASH IN / OUT	811mm (31 7/8")	50mm (2")
(C) CARD READER	1033mm (40 5/8")	43mm (1 3/4")
(D) RECEIPT PRINTER	1183mm (46 1/2")	16mm (5/8")
(E) (STD) LOW SOFTKEY	981mm (38 5/8")	17mm (5/8")
(E) (DCC) LOW SOFTKEY	939mm (37 3/8")	17mm (5/8")
(E) (STD) TOP SOFTKEY	1084mm (42 5/8")	17mm (5/8")
(E) (DCC) TOP SOFTKEY	1000mm (39 3/8")	17mm (5/8")
(E) (DCC) TOP SOFTKEY	1063mm (41 3/4")	17mm (5/8")
(E3) TOP OF SCREEN 15"	1133mm (44 5/8")	18mm (3/4")
(E3) TOP OF SCREEN 19"	1229mm (48 3/4")	18mm (3/4")
(E4) CENTER OF SCREEN 15"	1039mm (40 7/8")	18mm (3/4")
(E4) CENTER OF SCREEN 19"	1077mm (42 3/4")	18mm (3/4")
(F) CONTACTLESS CARD READER	855mm (33 3/4")	18mm (3/4")
(G) HEADPHONE JACK	875mm (34 1/4")	20mm (3/4")
(H) BAR CODE READER	1283mm (50 4 7/8")	35mm (1 3/8")
(J) CHECK DEPOSIT	760mm (29 7/8")	50mm (2")
(M) COIN OUT	700mm (27 1/2")	18mm (3/4")



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OPERATING ENVIRONMENT:
0° C TO 30° C (32° F TO 86° F)
10% TO 90% RELATIVE HUMIDITY

CANOPY REQUIREMENT:
THE ATMS MUST BE PLACED UNDER COVER/CANOPY FOR SUN PROTECTION. WATER INGRESS AND OPERATOR SAFETY. NOTE: IN ORDER TO MAINTAIN PROTECTION FROM WATER INGRESS THE CANOPY OF THE TERMINAL MUST BE PROPERLY SEALED AND LATCHED CORRECTLY. TO VERIFY IT HAS BEEN LATCHED CORRECTLY, THE USER CAN PULL ON THE HANDLE TO MAKE SURE IT DOES NOT PULL OUT.

WEIGHT OF UNIT:
UL CEN I — 207kg (456.0 LB.)
UL CEN III — 220kg (485.0 LB.)

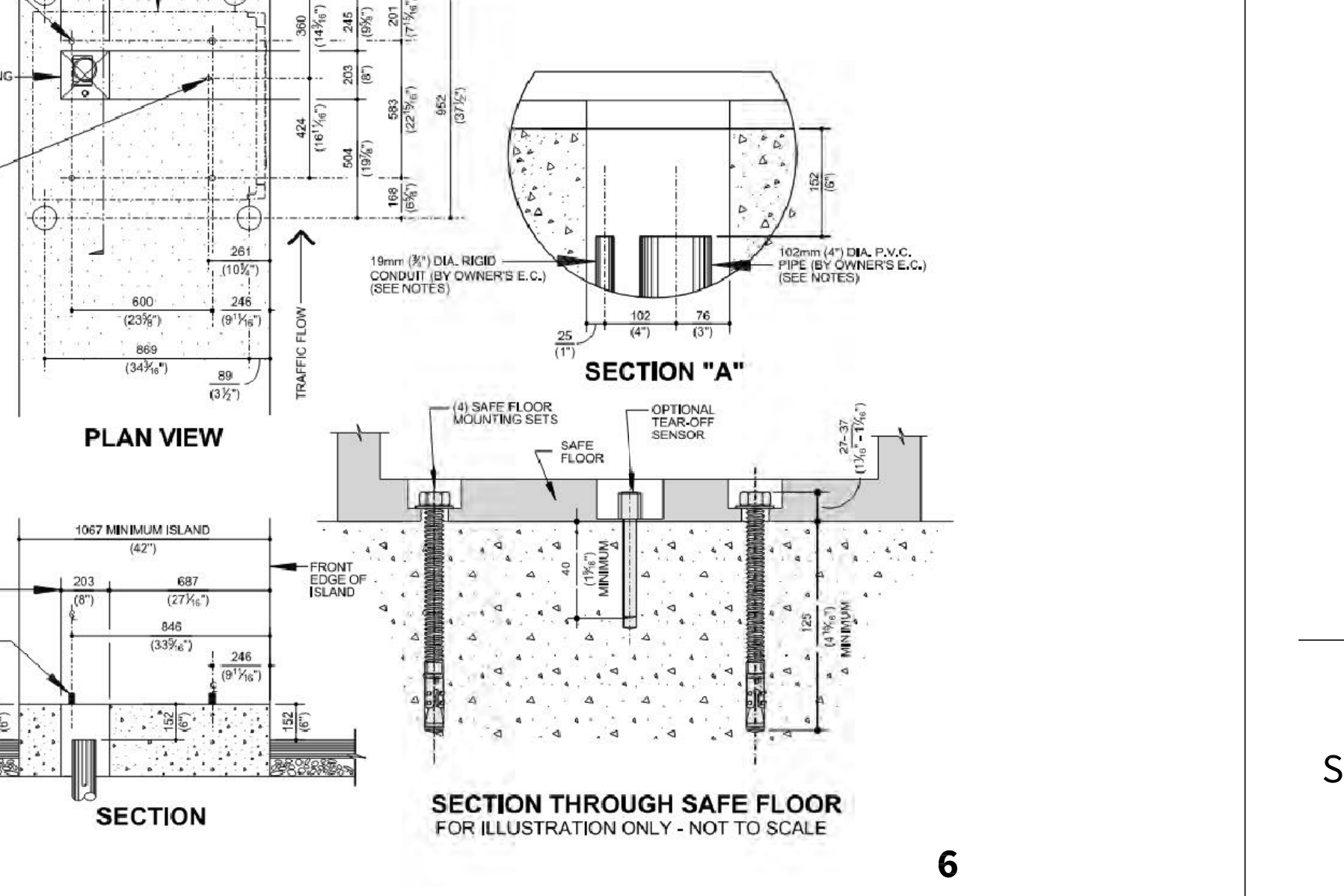
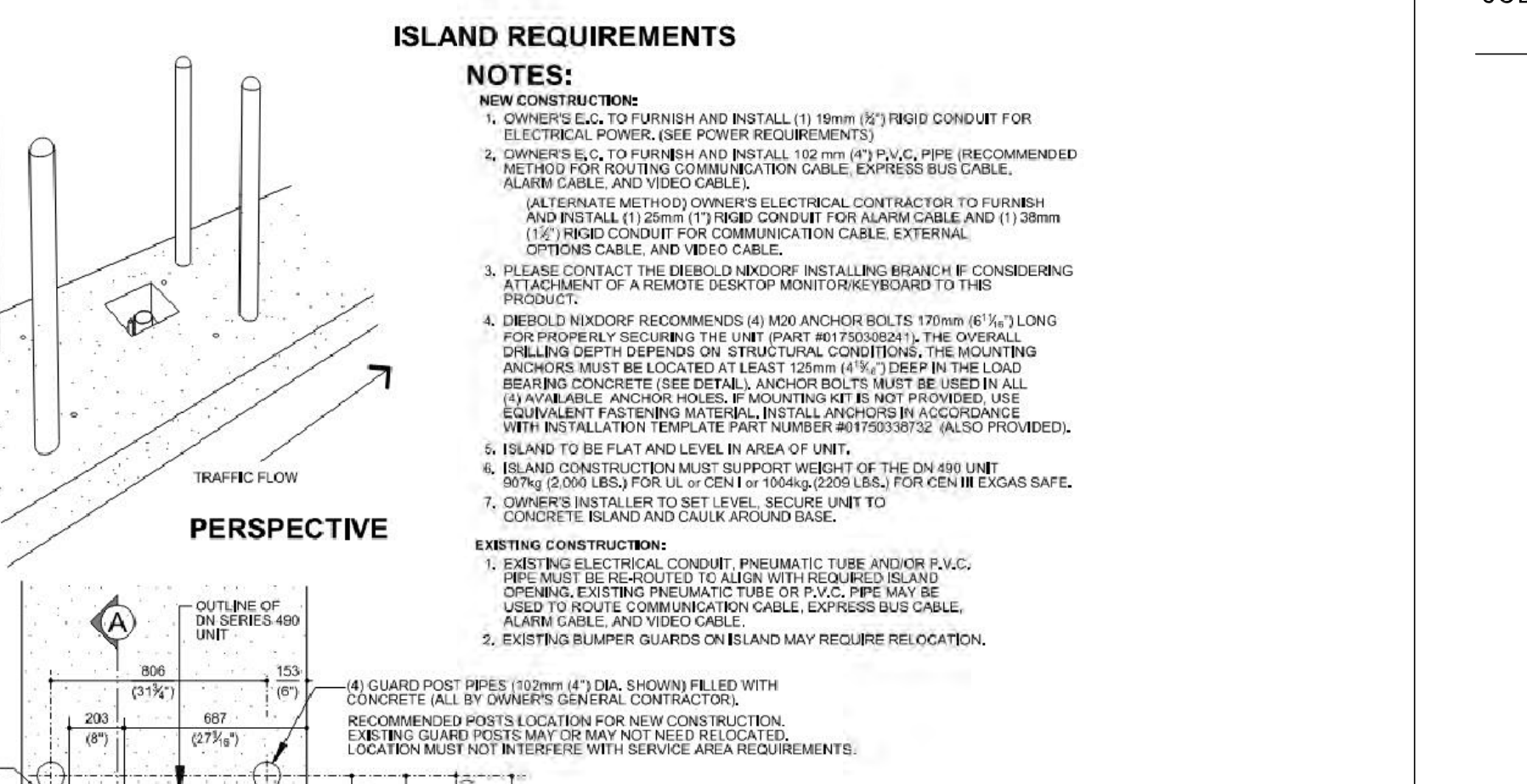
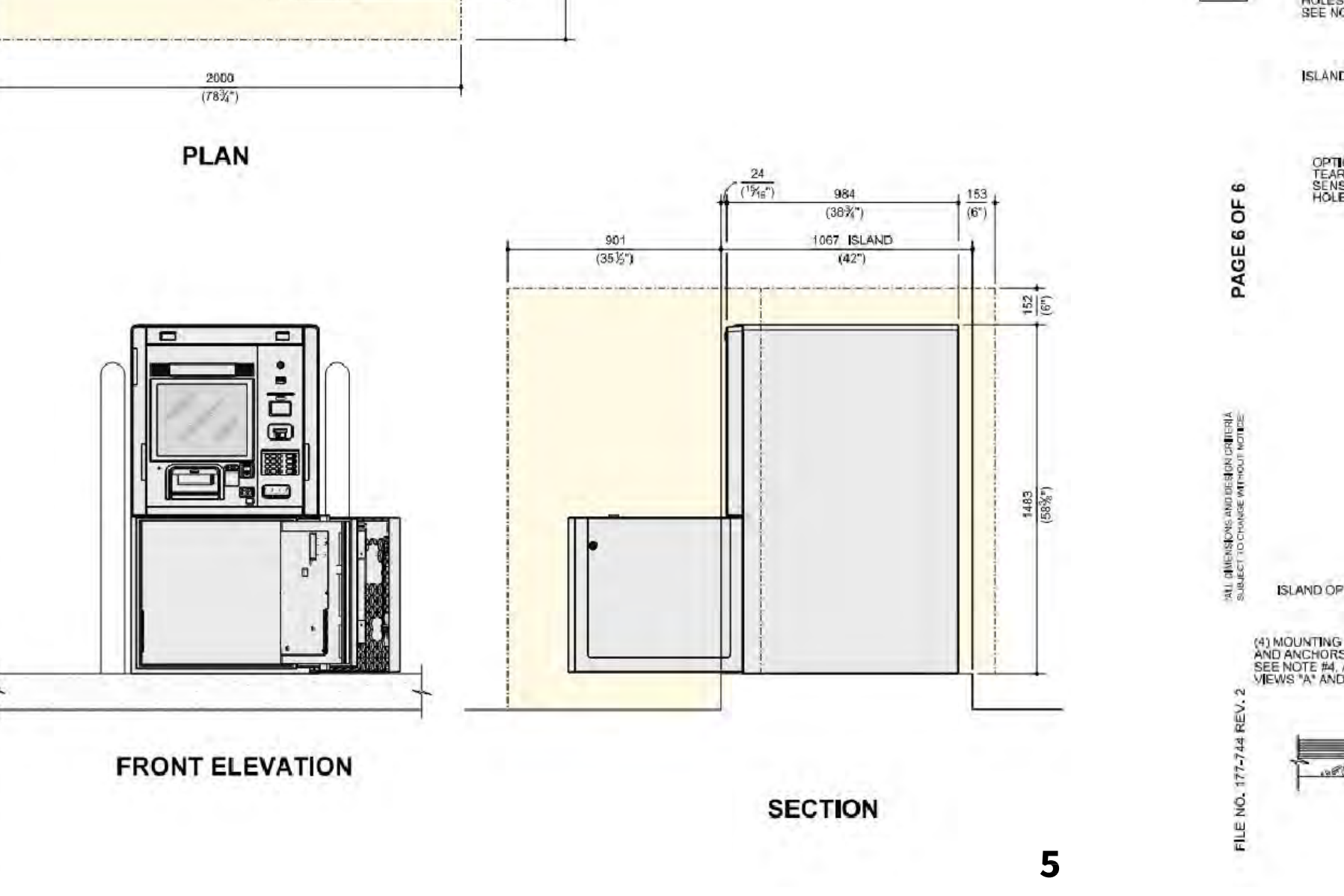
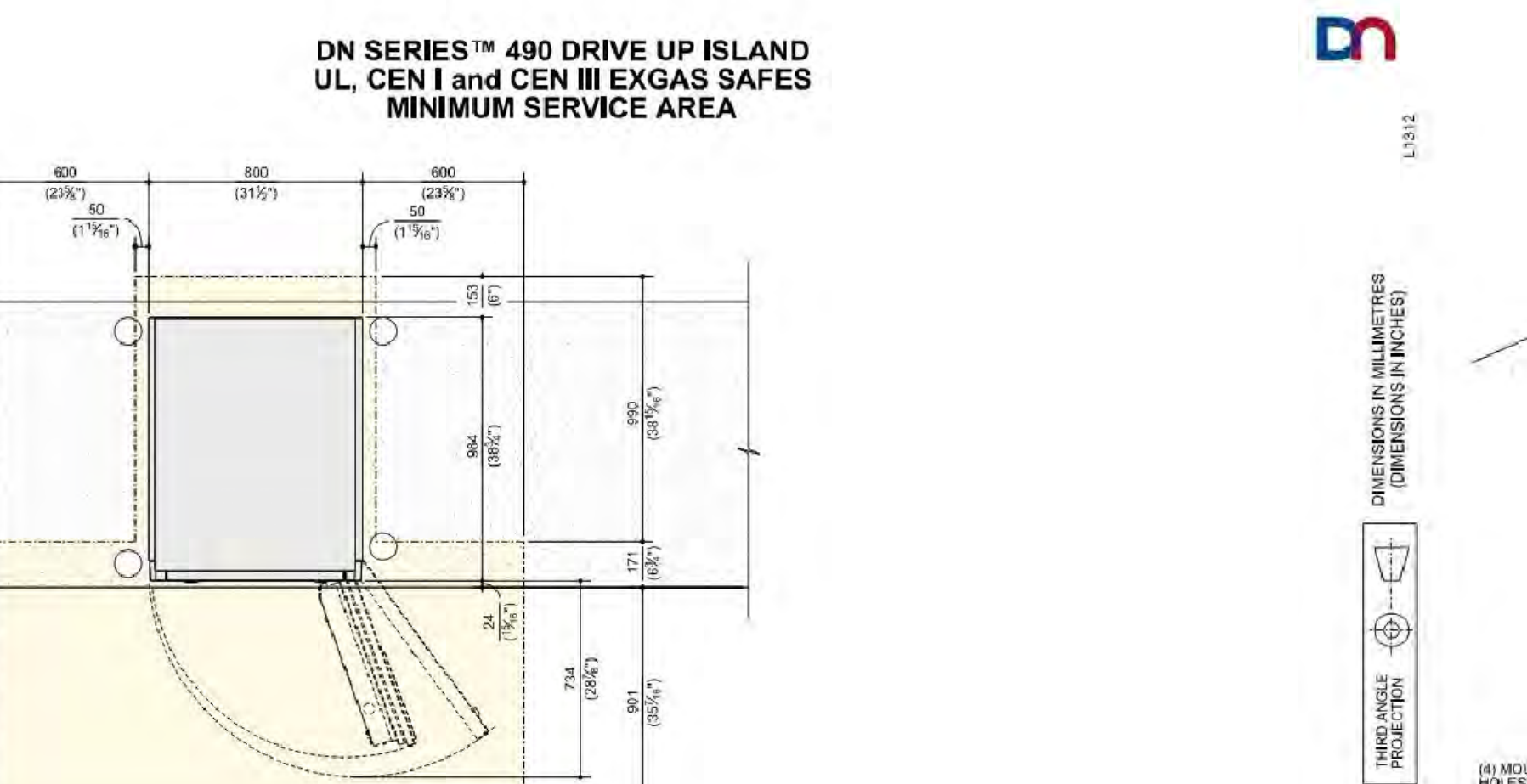
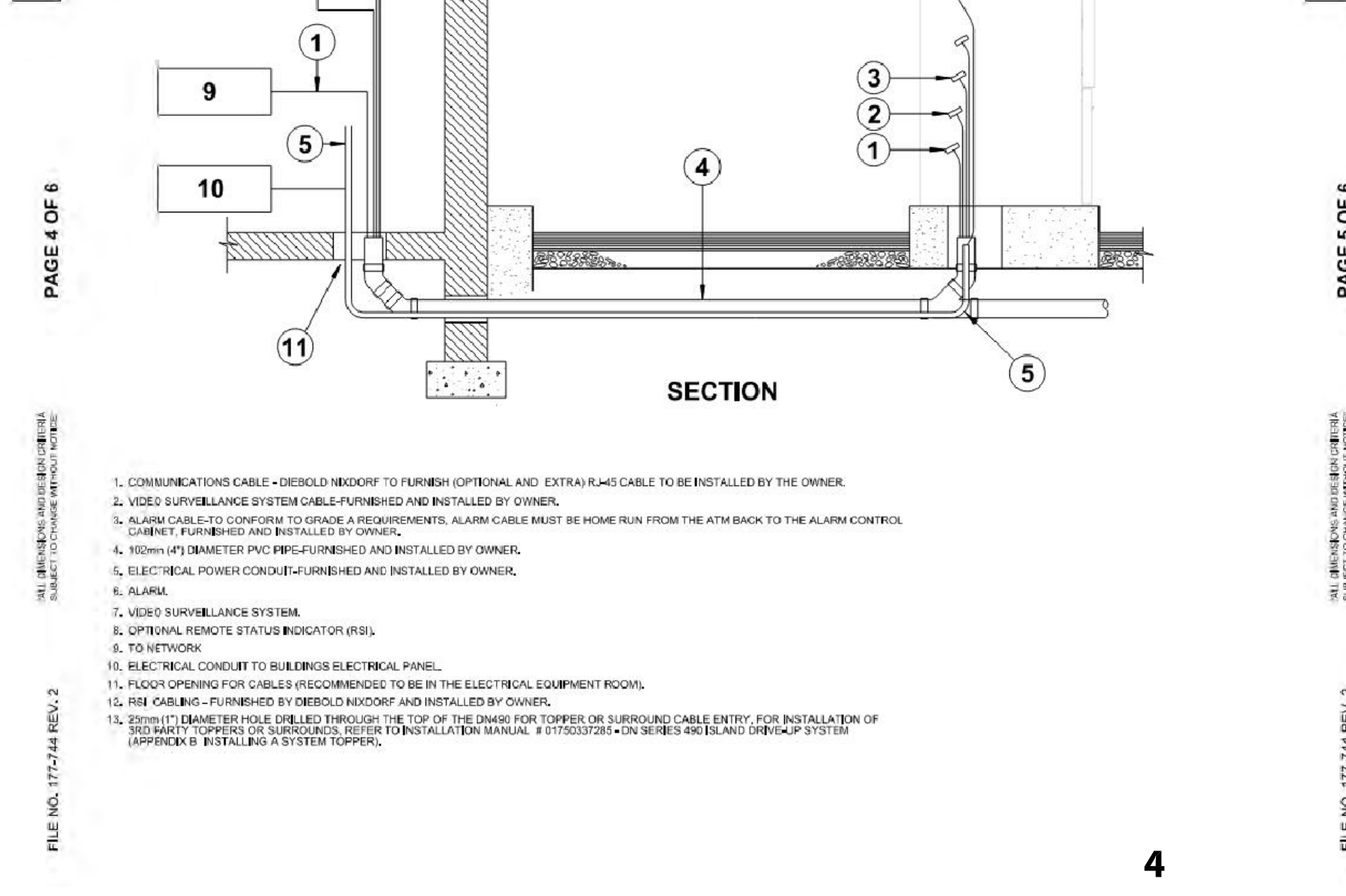
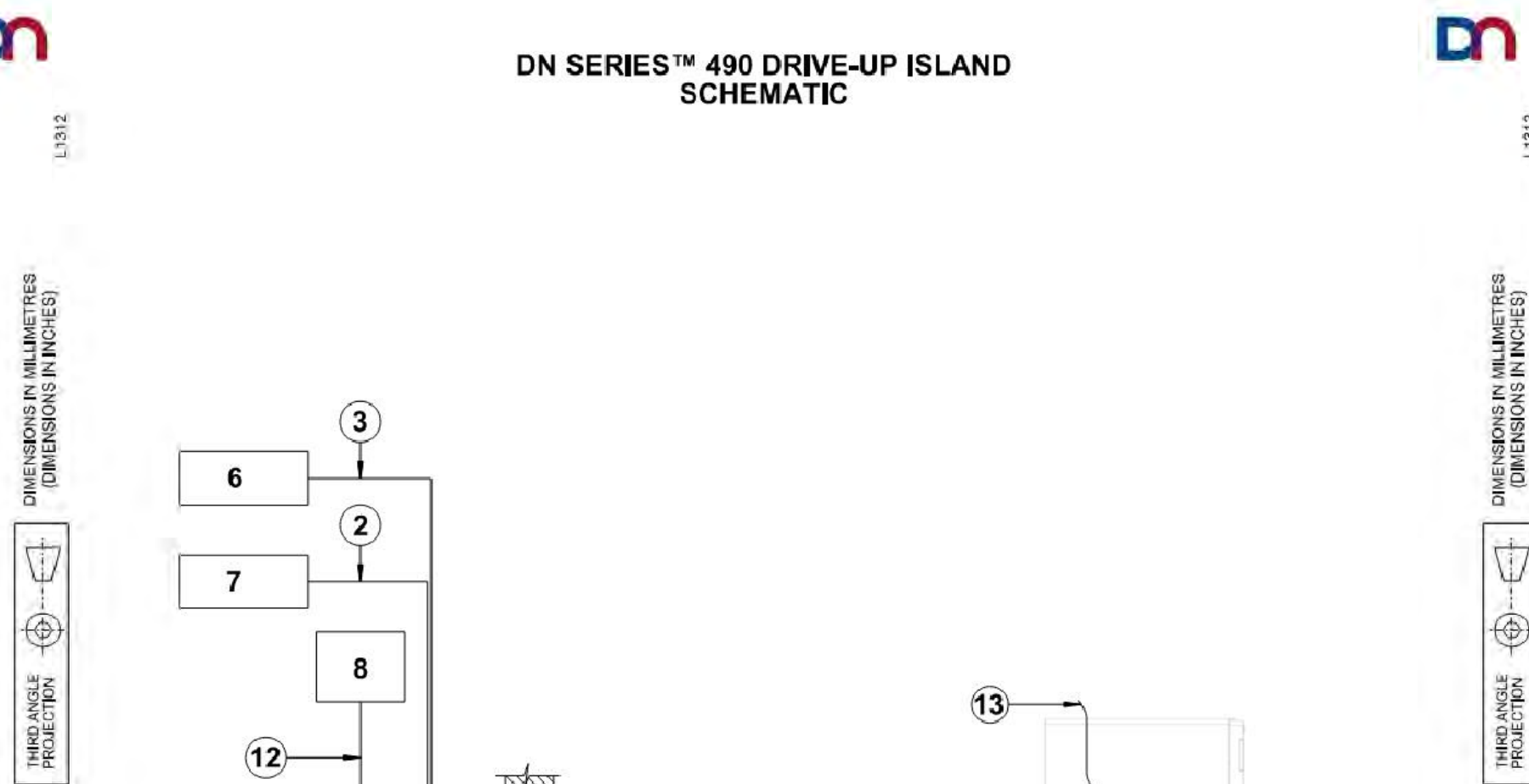
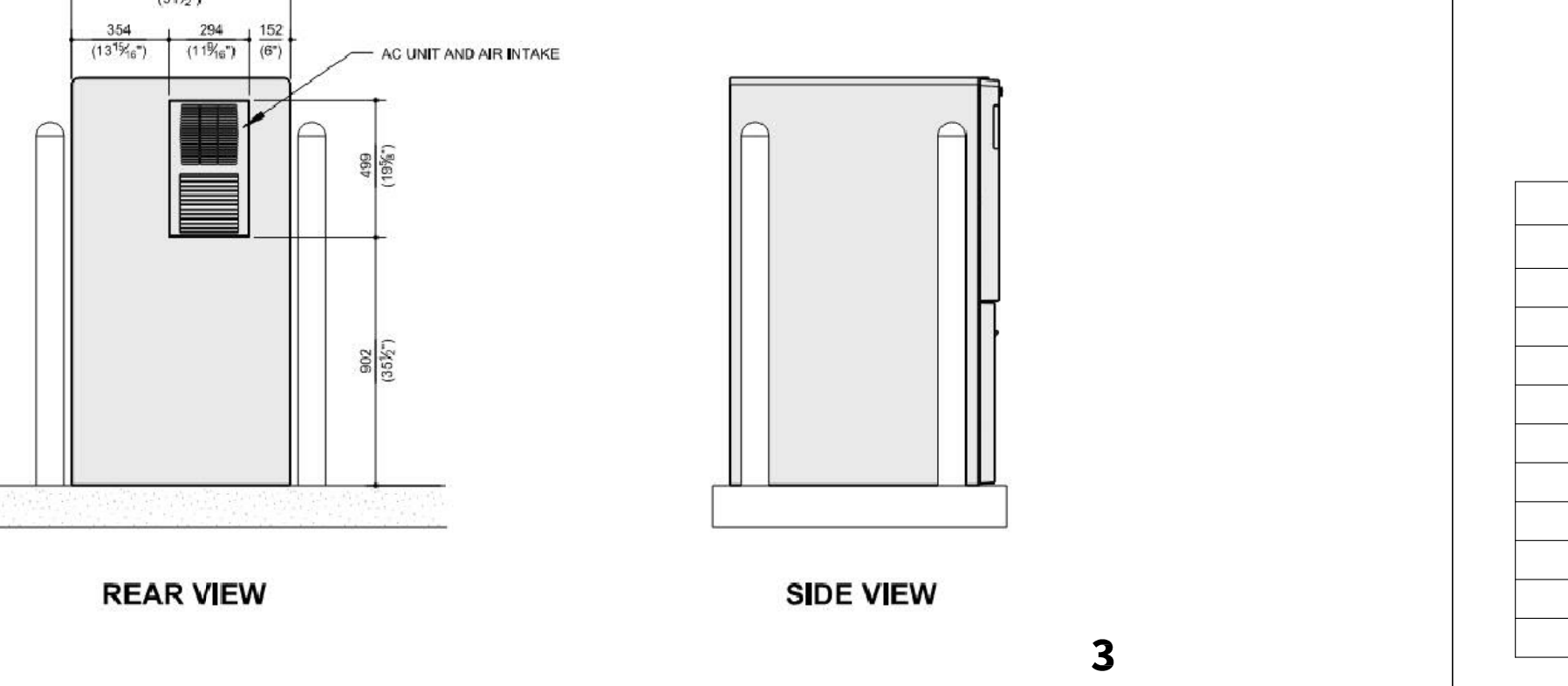
RECOMMENDED ISLAND:
1069mm (42 1/8") HIGH X 2059mm (81 1/4") WIDE X 1168mm (45 7/8") DEEP

PHYSICAL SECURITY:
UL SAFE
THE SAFE MEETS THE REQUIREMENTS OF UL STANDARD 201 LEVEL 1 FOR AUTOMATIC TELLER SYSTEMS FOR 24 HOUR SERVICE. THE SAFE DOES NOT MEET THE REQUIREMENTS OF UL STANDARD 201 LEVEL 2 FOR AUTOMATIC TELLER SYSTEMS FOR 24 HOUR SERVICE.

ALARM PROTECTION:
THE SAFE IS EQUIPPED WITH A BASIC ALARM SENSOR PACKAGE. THE BASIC PACKAGE INCLUDES A SAFE DOOR OPEN SWITCH, ALARM BATTERIES SWITCH, AND PART-TIME HEAT SENSOR.

UL SAFE
THE SAFE MEETS THE REQUIREMENTS OF UL STANDARD 201 LEVEL 1 FOR AUTOMATIC TELLER SYSTEMS FOR 24 HOUR SERVICE. THE SAFE DOES NOT MEET THE REQUIREMENTS OF UL STANDARD 201 LEVEL 2 FOR AUTOMATIC TELLER SYSTEMS FOR 24 HOUR SERVICE.

CEN III EXGAS SAFE
THE SAFE MEETS THE REQUIREMENTS FOR ENHANCED CEN III EXGAS SAFE. THE SAFE MEETS THE REQUIREMENTS OF ENHANCED CEN III EXGAS SAFE. THE SAFE MEETS THE REQUIREMENTS OF ENHANCED CEN III EXGAS SAFE.



H S B

ARCHITECTS + ENGINEERS

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STATE OF OHIO REGISTERED ARCHITECTS
Ben Gingrich 1315938
Expiration: Dec. 31, 2023

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JOB NO. 22375

**KEYBANK DRIVE-UP ATM
NEW WALK-UP ATM & CANOPY**

2011 W 25TH ST,
CLEVELAND, OH 44113

DIEBOLD NIXDORF
SERIES 490 ATM SPECS

A3.0



**ARCHITECTS
+ ENGINEERS**

1250 OLD RIVER ROAD, SUITE #201
CLEVELAND, OHIO 44113
WWW.HSBARCH.COM

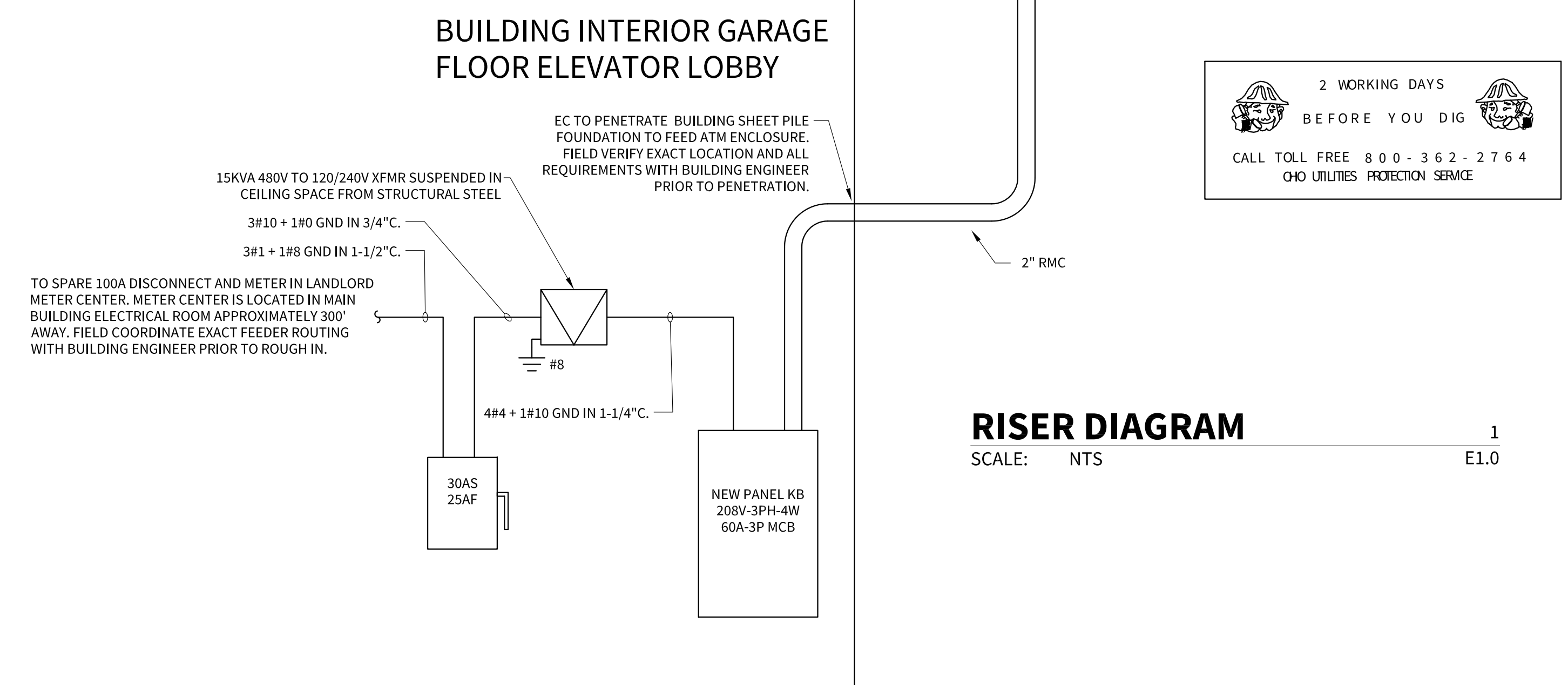
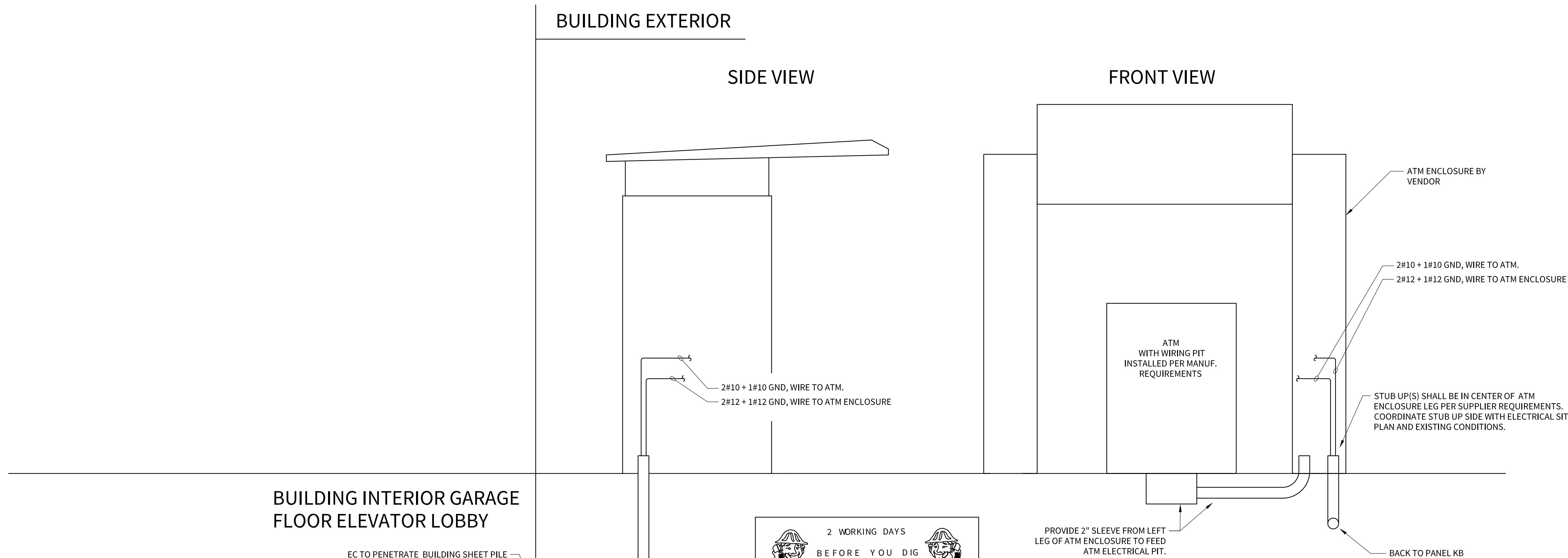


Expiration: Dec. 31, 2023

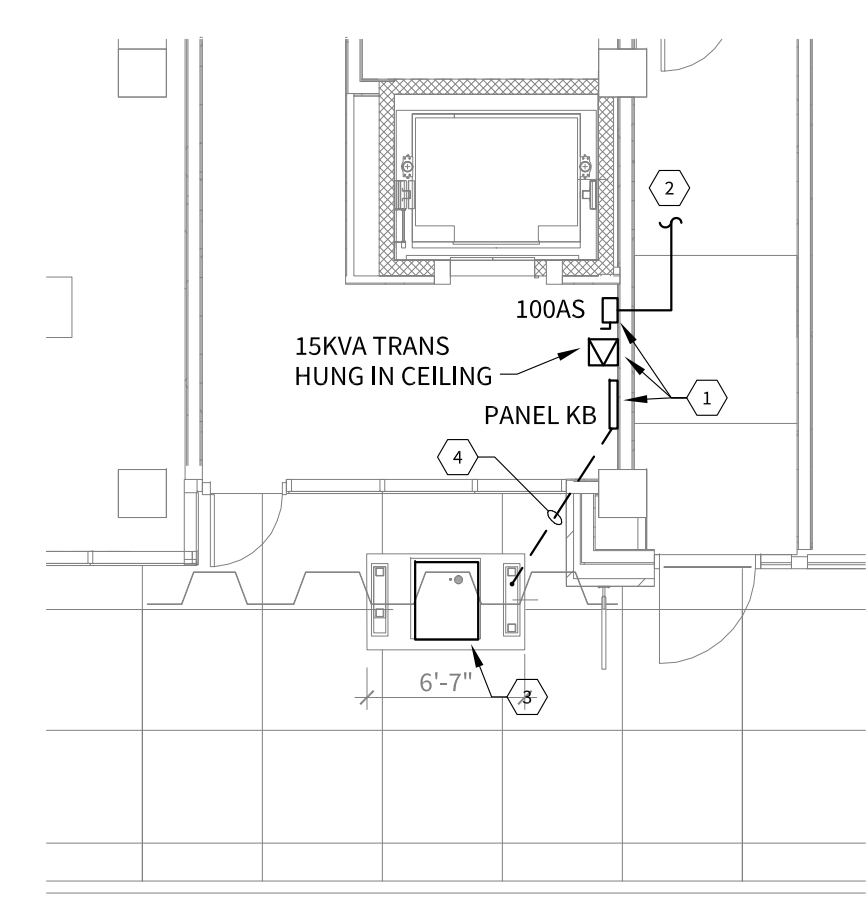
Ben Gingrich

DATE	ISSUE
12/5/2022	PERMIT SET

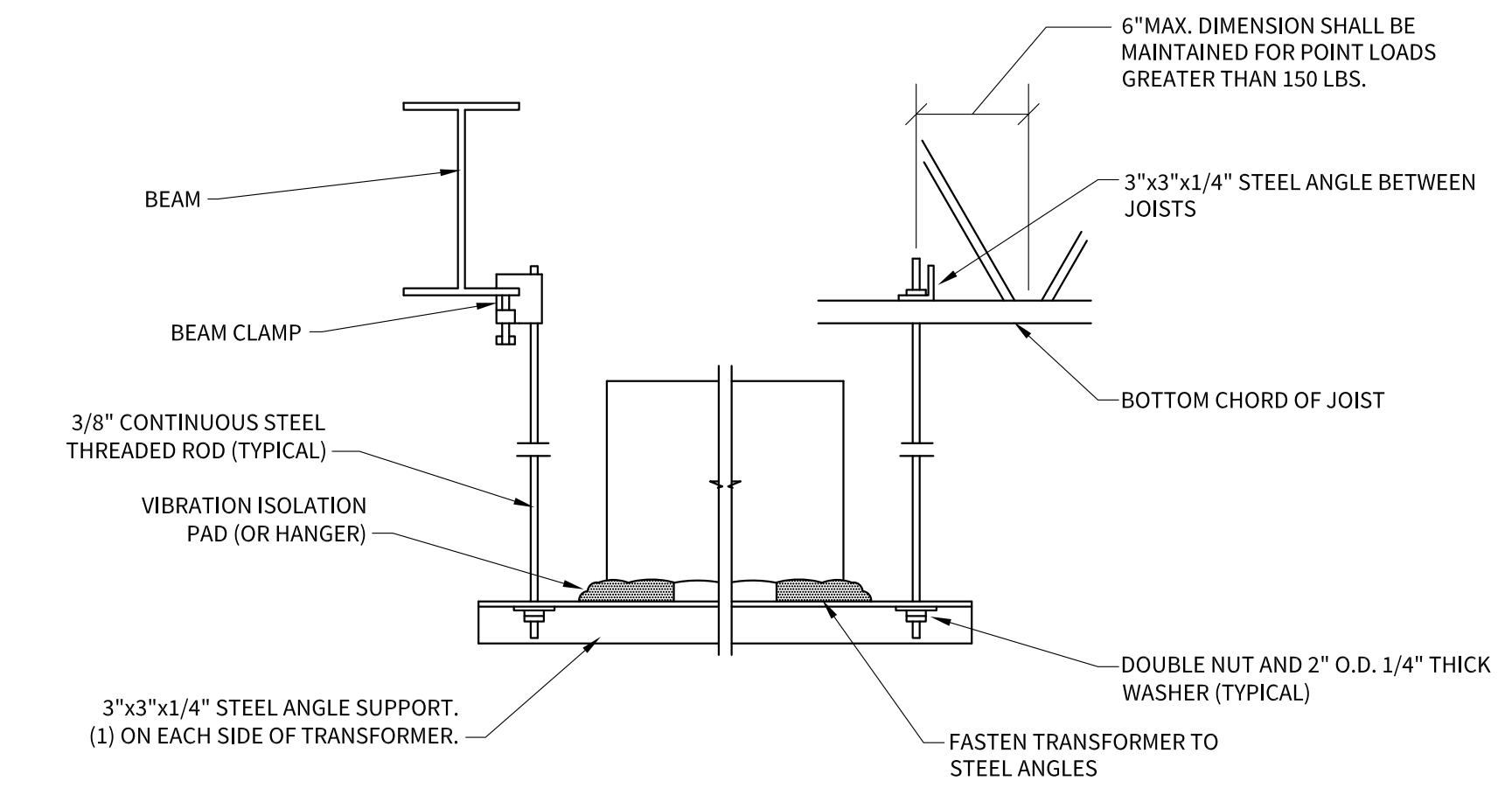
DRAWN BY: MP
JOB NO. 22375



RISER DIAGRAM
SCALE: NTS 1 E1.0



ELECTRICAL PLAN
SCALE: 1/8" = 1'-0" 2 E1.0



BEAM SUPPORT **JOIST SUPPORT**

TRANSFORMER SUPPORT DETAIL
SCALE: NTS 3 E1.0

WATTAGE		BKR		CKT NO		WATTAGE		LOAD	
Ø A	Ø B	AMP	P	NO	NO	AMP	P	Ø A	Ø B
2000		30	1	1	2				SPACE
	500	20	1	3	4				SPACE
		20	1	5	6				SPACE
				7	8				SPACE
				9	10				SPACE
				11	12				SPACE
				13	14				SPACE
				15	16				SPACE

WATTS: Ø A:	2000	AMPS:	10.4A	NOTES:	
Ø B:	500	FEEDER:	SEE RISER		
TOTAL:	2500	FED FROM:	SEE RISER		

- CODED NOTES:**
- NEW EQUIPMENT INDICATED SHALL BE MOUNTED IN GARAGE LEVEL ELEVATOR LOBBY DIRECTLY BELOW MAIN LEVEL LOBBY/ENTRANCE.
 - 3#1 + 1#8 GND IN 1-1/2" C FED FROM 100A DISCONNECT IN LANDLORD METER CENTER APPROXIMATELY 300' AWAY IN MAIN ELECTRICAL ROOM. ROUTE FEEDER OVERHEAD TIGHT TO STRUCTURE. FIELD COORDINATE EXACT FEEDER ROUTING WITH BUILDING ENGINEER PRIOR TO ROUGH IN.
 - NEW ATM LOCATION. REFER TO COMPANION ANCHOR DETAILS FOR EXACT CONDUIT STUB UP DIMENSIONS AND REQUIREMENTS.
 - 2" C FROM PANEL TO ATM CANOPY LEG. ROUTE CONDUIT UP TO GARAGE LEVEL CEILING SPACE, THROUGH BUILDING FOUNDATION, AND UP TO ATM CANOPY LEG. REFER TO COMPANION ANCHOR DETAILS FOR EXACT CONDUIT STUB UP DIMENSIONS AND REQUIREMENTS.

**KEYBANK DRIVE-UP ATM
NEW WALK-UP ATM & CANOPY**

2011 W 25TH ST,
CLEVELAND, OH 44113

ELECTRICAL PLAN,
RISER, AND DETAILS

E1.0

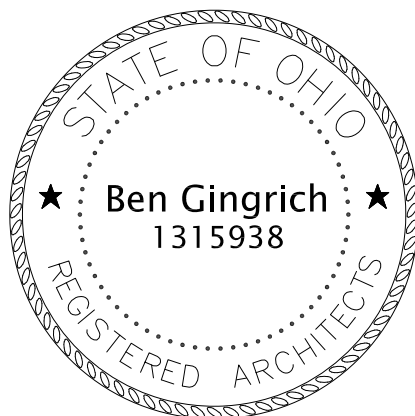
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K:\Projects\22375 KeyBank\22375 KeyBank.dwg
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ARCHITECTS + ENGINEERS

1250 OLD RIVER ROAD, SUITE #201 CLEVELAND, OHIO 44113

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Expiration: Dec. 31, 2023

Signature of Ben Gingrich

Table with 3 columns: DATE, ISSUE. Row 1: 12/5/2022, PERMIT SET

DRAWN BY: MP JOB NO. 22375

KEY BANK DRIVE-UP ATM NEW WALK-UP ATM & CANOPY

2011 W 25TH ST, CLEVELAND, OH 44113

ELECTRICAL SPECIFICATION

E2.0

Electrical Symbols

Table of electrical symbols and their descriptions, including fixture types, duplex receptacles, junction boxes, fire alarm devices, and grounding symbols.

ELECTRICAL SPECIFICATIONS

- 1. THE GENERAL CONDITIONS OF THE CONTRACT, THE SUPPLEMENTARY CONDITIONS, ELECTRICAL DRAWINGS, MECHANICAL DRAWINGS, ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS, THE FOLLOWING SPECIFICATIONS, SHOP DRAWINGS, AND ANY ADDENDUMS TO THE ABOVE ARE PART OF THE CONTRACT FOR THE WORK. WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND ARCHITECT. AS-BUILT DRAWINGS SHALL BE PROVIDED.
2. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE AWARDED FOR UNNOTICED FIELD CONDITIONS.

ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES. THE ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED TO PERFORM THE ELECTRICAL WORK.

THE DRAWINGS INDICATE DIAGRAMMATICALLY THE LOCATIONS OF ELECTRICAL DEVICES, EQUIPMENT, FIXTURES AND THE METHOD OF CONNECTION. MATERIALS NOT SPECIFICALLY INDICATED BUT ESSENTIAL TO COMPLETE THE WORK SHALL BE INCLUDED.

"PROVIDE" SHALL MEAN FURNISH EQUIPMENT, ASSOCIATED APPURTENANCES, AND INSTALL SAME.

- 3. SCOPE THE SCOPE OF WORK SHALL INCLUDE, BUT IS NOT LIMITED TO:
A. CONDUIT, BRANCH CIRCUITS, OUTLETS AND WIRING.
B. LIGHTING FIXTURES, LAMPS, MOUNTING HARDWARE, SWITCHES, CONDUIT AND WIRING.
C. EMERGENCY LIGHTING INCLUDING TESTING.
D. EXTENSION OF AND/OR RECONFIGURATION OF EXISTING POWER DISTRIBUTION SYSTEM.
E. DATA/TELEPHONE OUTLETS, CONDUITS AND PULL WIRES.
F. ALL CHANNELING AND CONCRETE PATCHING WORK REQUIRED FOR ELECTRICAL WORK EXCLUSIVELY.
G. RECONNECTION, AS REQUIRED INCLUDING CONDUIT AND WIRE, OF ALL BRANCH CIRCUITS CUT OFF BY DEMOLITION OF EXISTING PARTITIONS, ETC.
H. NECESSARY CABINETS, JUNCTION BOXES, AND PULL BOXES.
I. TEMPORARY CONSTRUCTION POWER AND LIGHTING TO ACCOMMODATE ALL TRADES.
J. GROUNDING OF ALL SYSTEMS AND EQUIPMENT.
K. EXTENSION OF AND/OR RECONFIGURATION OF EXISTING FIRE ALARM SYSTEM.
L. ELECTRICAL CONNECTION TO EQUIPMENT PROVIDED BY MECHANICAL AND/OR PLUMBING CONTRACTOR. FIELD VERIFY VOLTAGE, CURRENT, AND CONNECTION REQUIREMENTS FOR ALL EQUIPMENT PRIOR TO ROUGH-IN. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE DISCREPANCIES BETWEEN WHAT IS SHOWN ON THESE DRAWINGS AND WHAT IS ACTUALLY REQUIRED. ALSO PROVIDE, LINE VOLTAGE CIRCUITING FOR AND FINAL CONNECTION TO CONTROLS TRANSFORMER(S). CONTROLS TRANSFORMER(S) AND LOW VOLTAGE CONTROLS CABLING BY MECHANICAL AND/OR PLUMBING CONTRACTOR.

- 4. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND BEAR UL LABELS AND LISTINGS. SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT PRIOR TO ORDERING FOR PROJECT.
5. COORDINATE WORK WITH OTHER TRADES FOR SPACE REQUIREMENTS. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE ELECTRICAL WORK. VERIFY DEVICE LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.

- 6. CONDUIT
A. SUPPORT CONDUIT FROM BUILDING STRUCTURE ONLY. INSTALL 1/16" PULL STRING IN ALL EMPTY CONDUITS. NO PVC SHALL BE PERMITTED ABOVE GRADE WITHIN THE BUILDING.
B. USE TYPE MC CABLE FOR FISHING NEW CIRCUITS THROUGH EXISTING WALLS AND FOR LIGHTING FIXTURE WHIPS. FLEXIBLE METAL CONDUIT SHALL BE USED FOR THE FINAL CONNECTION TO TRANSFORMERS AND MOTORS. FLEXIBLE LIQUID-TIGHT CONDUIT SHALL BE USED FOR FINAL CONNECTION TO ALL HARD-WIRED EQUIPMENT.
C. ABOVE GRADE INTERIOR DRY LOCATION CONDUIT SHALL BE ELECTRICAL METALLIC TUBING(EMT) WITH SET SCREW FITTINGS CONCEALED IN WALLS OR ABOVE CEILINGS.
D. ABOVE GRADE EXTERIOR CONDUIT SHALL BE RIGID METAL CONDUIT(RMC) WITH THREADED FITTINGS.
E. BELOW GRADE CONDUIT SHALL BE SCHEDULE 40 RIGID NONMETALLIC CONDUIT(RNC) WITH FITTINGS APPROVED FOR USE WITH RNC. TRANSITION TO EMT OR RMC ABOVE GRADE.
F. IF APPROVED BY LANDLORD, MC CABLE MAY BE USED FOR RECEPTACLE, LIGHTING, AND EQUIPMENT BRANCH CIRCUITING. INSTALL CONCEALED IN WALLS OR ABOVE CEILINGS.

- 7. FIRE STOP ALL WALL AND FLOOR PENETRATIONS PER UL APPROVED METHOD AT RATED ASSEMBLIES.

- 8. WIRE AND CABLE
A. WIRE AND CABLE SHALL BE 600V TYPE THWN COPPER UNLESS OTHERWISE INDICATED. WIRE #8 AND LARGER SHALL BE STRANDED CONDUCTOR. WIRE #10 AWG AND SMALLER SHALL BE SOLID CONDUCTOR.
B. UNLESS OTHERWISE INDICATED, NO WIRE SMALLER THAN #12 AWG SHALL BE USED. CONTROL CIRCUITS MAY BE #14 AWG.
C. UNLESS OTHERWISE INDICATED, PRESUME WIRE SIZE TO BE #12 AWG.
D. ALL 120V, 20A HOMERUNS GREATER THAN 75 FEET SHALL BE #10 AWG. ALL 277V, 20A HOMERUNS GREATER THAN 150 FEET SHALL BE #10 AWG.
E. SEPARATE INSULATED GROUNDING WIRES SHALL BE INSTALLED IN ALL CONDUIT RUNS FOR POWER AND LIGHTING. MINIMUM SIZE OF GROUND SHALL BE PER THE NEC ARTICLE 250.
F. ALL EQUIPMENT AND RECEPTACLE CIRCUITS SHALL BE PROVIDED WITH DEDICATED NEUTRAL CONDUCTORS (NO SHARED NEUTRALS).
G. COLOR CODE WIRING AS FOLLOWS:
BLACK A BROWN
RED B ORANGE
BLUE C YELLOW
WHITE N WHITE/BLACK STRIPE
GREEN G GREEN

- 9. PANEL DIRECTORIES SHALL BE TYPED. PROVIDE AND INSTALL ENGRAVED PHENOLIC NAMEPLATES FOR MOTOR STARTERS, PANELBOARDS, SAFETY SWITCHES ETC.
10. TEST WIRING SYSTEMS FOR SHORTS AND GROUNDS PRIOR TO ENERGIZING CIRCUITS.

Table with 2 columns: DEVICE, HUBBELL NUMBER. Lists wiring devices like single pole switch, three-way switch, four-way switch, duplex receptacle, and duplex receptacle GFI with their corresponding Hubbell part numbers.

ELECTRICAL DEMOLITION NOTES

- 1. HOLES IN ROOM SURFACES DUE TO THE REMOVAL OF ELECTRICAL WORK SHALL BE PATCHED TO MATCH EXISTING FINISH. OPENINGS IN FIRE RATED PARTITIONS SHALL BE SEALED WITH FIRE RATED MATERIAL.
2. COORDINATE DEMOLITION SUCH THAT EXISTING EMBEDDED CONDUIT AND FLUSH BOXES IN MASONRY WALLS AND CEILINGS MAY BE REUSED TO THE EXTENT POSSIBLE. FLUSH OUTLET BOXES THAT ARE NOT REUSED SHALL BE PROVIDED WITH BLANK PLATES.
3. DEVICES SHOWN WITH 'REX' SHALL BE REMOVED COMPLETELY INCLUDING ALL ASSOCIATED WIRING AND CONDUIT. CIRCUITING AFFECTED SHALL BE REROUTED TO OTHER ACTIVE DEVICES SHARING THAT CIRCUIT AS REQUIRED.
4. DEVICES SHOWN WITH 'ETR' SHALL REMAIN. PROTECT DURING DEMOLITION. DEVICES IN CEILINGS THAT ARE TO BE REPLACED SHALL BE REMOVED TEMPORARILY AND REINSTALLED.
5. DEVICES SHOWN WITH 'REL' SHALL BE RELOCATED. EXTEND CIRCUIT(S) AS REQUIRED.
6. ELECTRICAL DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE RELOCATION OF AND/OR REMOVAL OF ALL ELECTRICAL RELATED DEVICES (UNLESS OTHERWISE INDICATED) LOCATED ON, IN, AND/OR THROUGH WALLS AND CEILINGS SHOWN TO BE DEMOLISHED ON THE ARCHITECTURAL PLANS. CIRCUITING AFFECTED SHALL BE REROUTED TO OTHER ACTIVE DEVICES SHARING THAT CIRCUIT AS REQUIRED.
7. RECONFIGURATION OF ACTIVE TELECOMMUNICATIONS WIRING/CABLING BY OTHERS.
8. REMOVE ACCESSIBLE PORTION OF ABANDONED TELECOMMUNICATIONS WIRING/CABLING.
9. REX ALL UNUSED WORK BOXES, JUNCTION BOXES, CONDUIT, ETC.
10. UNLESS INDICATED OTHERWISE, REX ALL UNUSED BRANCH CIRCUITS BACK TO BRANCH CIRCUIT PANEL AND TAG CIRCUIT BREAKER AS 'SPARE'.
11. NO ATTEMPT HAS BEEN MADE TO INDICATE ALL EXISTING ELECTRICAL DEVICES TO BE REMOVED AND/OR RELOCATED. HOWEVER, THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION PRIOR TO SUBMITTING BID. REMOVE AND/OR RELOCATE EXISTING ELECTRICAL DEVICES ON WALLS OR CEILING BEING REMOVED. COORDINATE SUCH CONDITIONS WITH ARCHITECTURAL DRAWINGS.
12. ELECTRICAL CONTRACTOR TO MAKE SAFE ALL ELECTRICAL PANELBOARDS, DEVICES, EQUIPMENT, ETC. DURING DEMOLITION PHASE. TAKE ALL NECESSARY PRECAUTIONS SUCH AS PROVIDING LOCK-OUT DEVICES, REMOVAL OF CIRCUITING, DISCONNECT POWER TO ANY AND ALL EQUIPMENT SLATED TO BE REMOVED, ETC.

PLAN NOTES

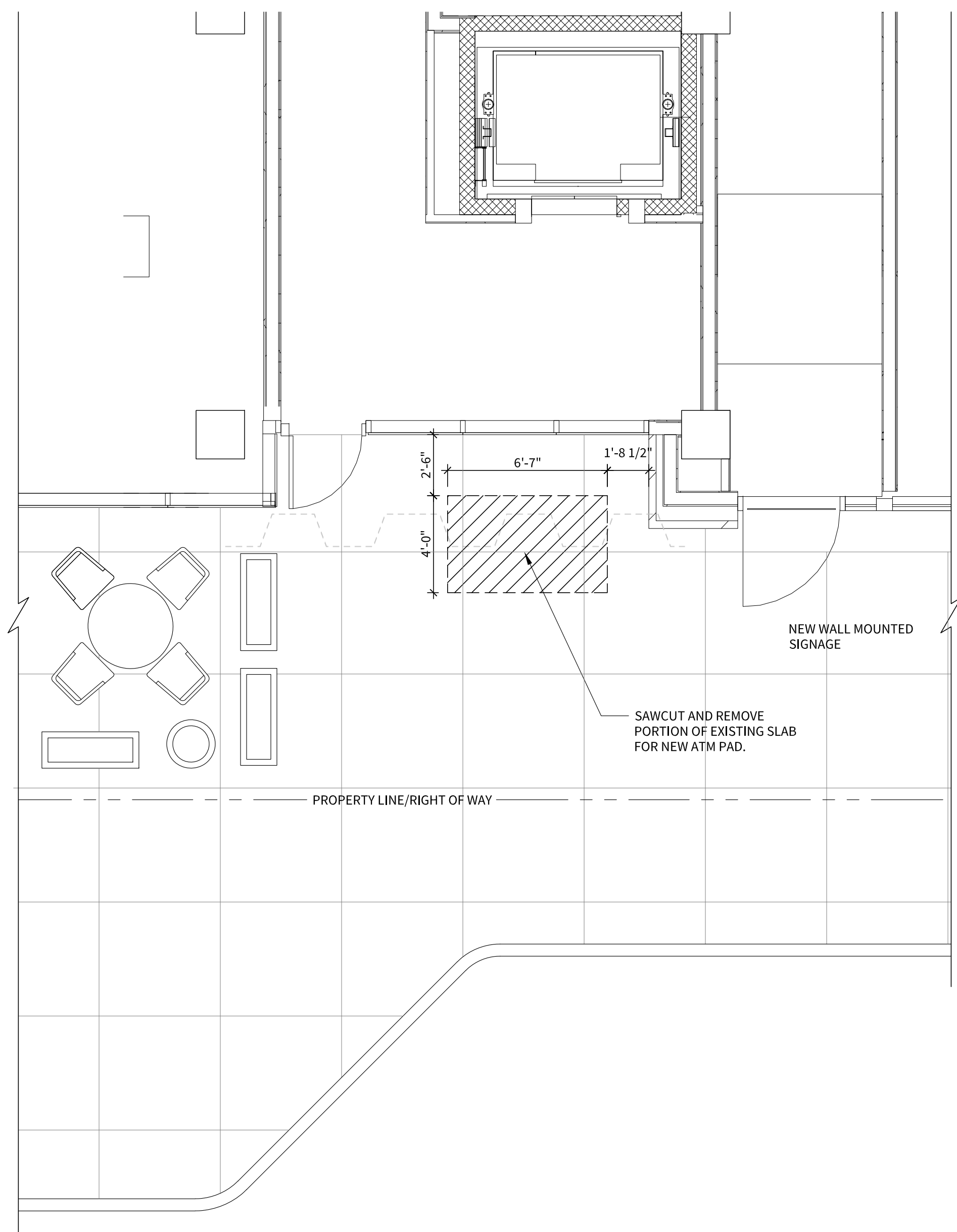
- 1. FIELD VERIFY MOUNTING HEIGHTS AND LOCATIONS OF ALL DEVICES PRIOR TO ROUGH-IN. NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WHICH MAY INTERFERE WITH THE PROPER INSTALLATION OF NEW WORK.
2. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR DAMAGED EXISTING BASE BUILDING WORK WHICH MAY INTERFERE WITH THE PROPER EXECUTION OF NEW WORK.
3. ALL EXIT SIGNS, NIGHT LIGHTS, EMERGENCY LIGHTING UNITS, AND EMERGENCY BATTERY PACKS SHALL BE CONNECTED TO CIRCUIT AHEAD OF LOCAL SWITCHING. CONNECT TO THE LIGHTING CIRCUIT SERVING THE AREA SERVED BY THE EXIT AND/OR EMERGENCY LIGHTING UNIT.
4. EXISTING SYSTEMS, DEVICES, FIXTURES, CIRCUITING, ETC. THAT ARE SHOWN ON THESE PLANS ARE BASED ON VISUAL INSPECTION AND/OR AS-BUILT DRAWINGS, BUT MAY NOT REFLECT THE ACTUAL CONDITIONS IN EVERY CASE. THE ELECTRICAL CONTRACTOR SHALL INSPECT THE SITE AND EXAMINE THE WORK BEFORE SUBMITTING HIS PROPOSAL. HE SHALL NOTE THE EXISTING CONDITIONS, THE EXTENT OF HIS WORK, AND INTERFERENCE BY OTHER TRADES WITH HIS WORK. ANY DISCREPANCIES SHOULD BE DISCUSSED WITH THE ARCHITECT OR ENGINEER.
5. CIRCUITING SHOWN TO EXISTING PANELS IS SHOWN ON DRAWINGS FOR INDICATING INTENT ONLY. FIELD VERIFY EXISTING CIRCUITING, EXISTING CIRCUIT NUMBERS AND/OR SPARES, AND SPACES AVAILABLE IN PANELS. UNLESS INDICATED OTHERWISE, EXISTING CIRCUITS BEING FED FROM EXISTING CB'S SHALL REMAIN. IF A CIRCUIT NUMBER SHOWN ON THE DRAWING INDICATES CIRCUITING TO A CB REQUIRED TO SERVE AN EXISTING CIRCUIT, USE THE NEXT AVAILABLE CB OF THE SIZE AND CONFIGURATION REQUIRED. IF EXISTING CB IS NOT AVAILABLE, PROVIDE NEW CB IN EXISTING PANEL SPACE AS REQUIRED. FIELD VERIFY EXISTING PANELS HAVE ADEQUATE CAPACITY TO HANDLE ADDITIONAL LOADS.
6. CONTRACTOR TO PROVIDE ALL NECESSARY COMPONENTS (AMPLIFIERS, REPEATERS, EXPANDER PANELS, ETC.) AND/OR PROGRAMMING TO INTERFACE WITH AND/OR EXTEND THE EXISTING FIRE ALARM SYSTEM AND TO COORDINATE WITH EXISTING FIRE ALARM MANUFACTURER.
7. RACEWAY PASSING FROM THE INTERIOR TO THE EXTERIOR OF THE BUILDING SHALL BE FILLED WITH AN APPROVED MATERIAL TO PREVENT THE CIRCULATION OF WARM AIR TO A COLDER SECTION OF THE RACEWAY.

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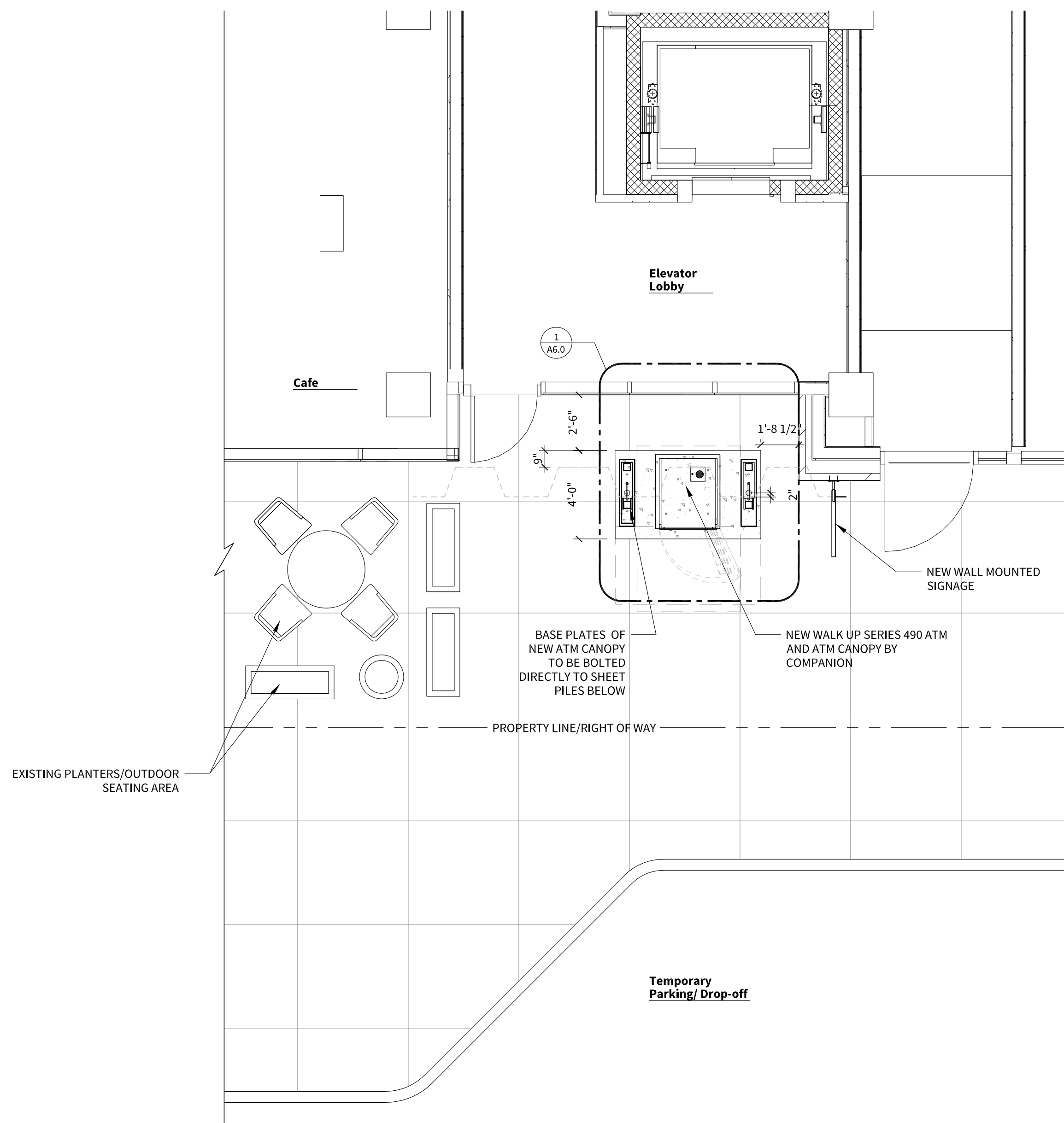


EXISTING CONDITIONS

SCALE: N.T.S. 1 A1.0



DEMO PLAN
SCALE: 1/4" = 1'-0" 1 A1.0



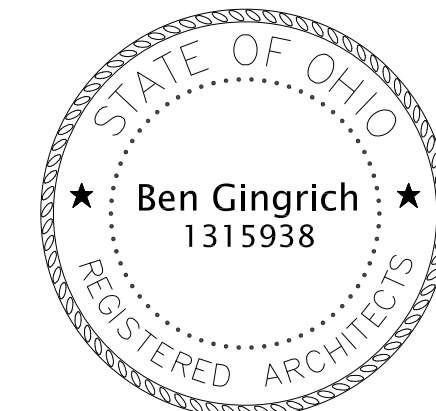
ATM PLAN
SCALE: 1/4" = 1'-0" 2 A1.0



**ARCHITECTS
+ ENGINEERS**

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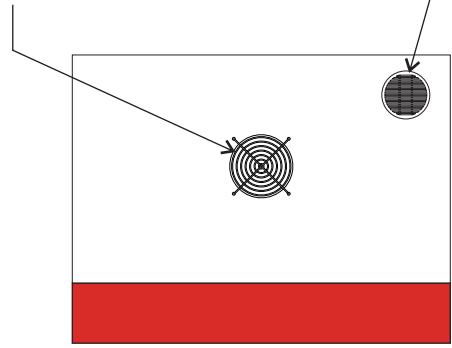
ENLARGED
SITE PLAN

AS1.0

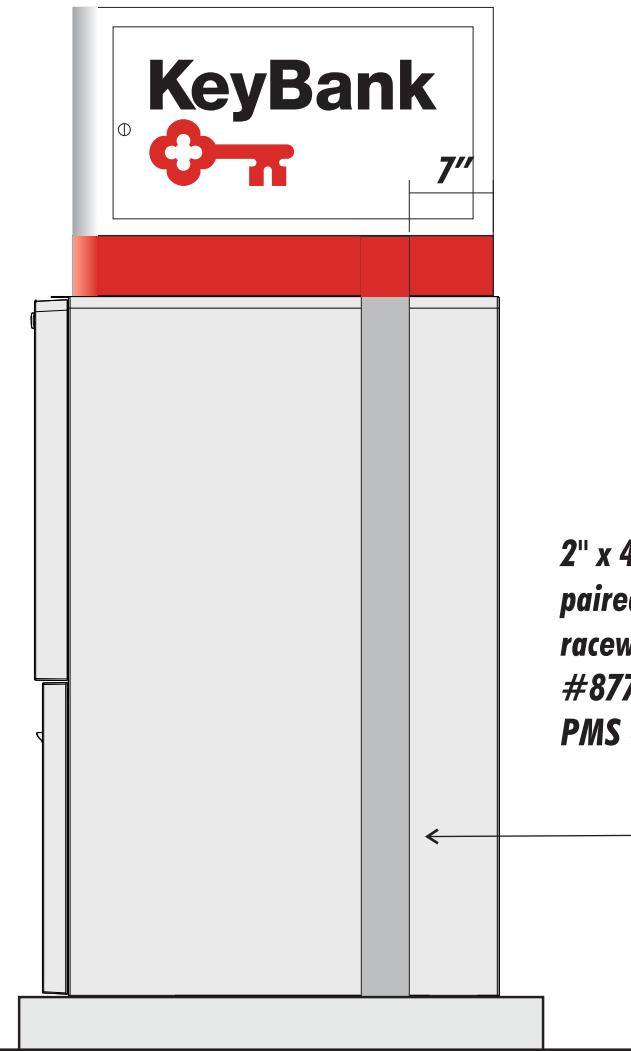
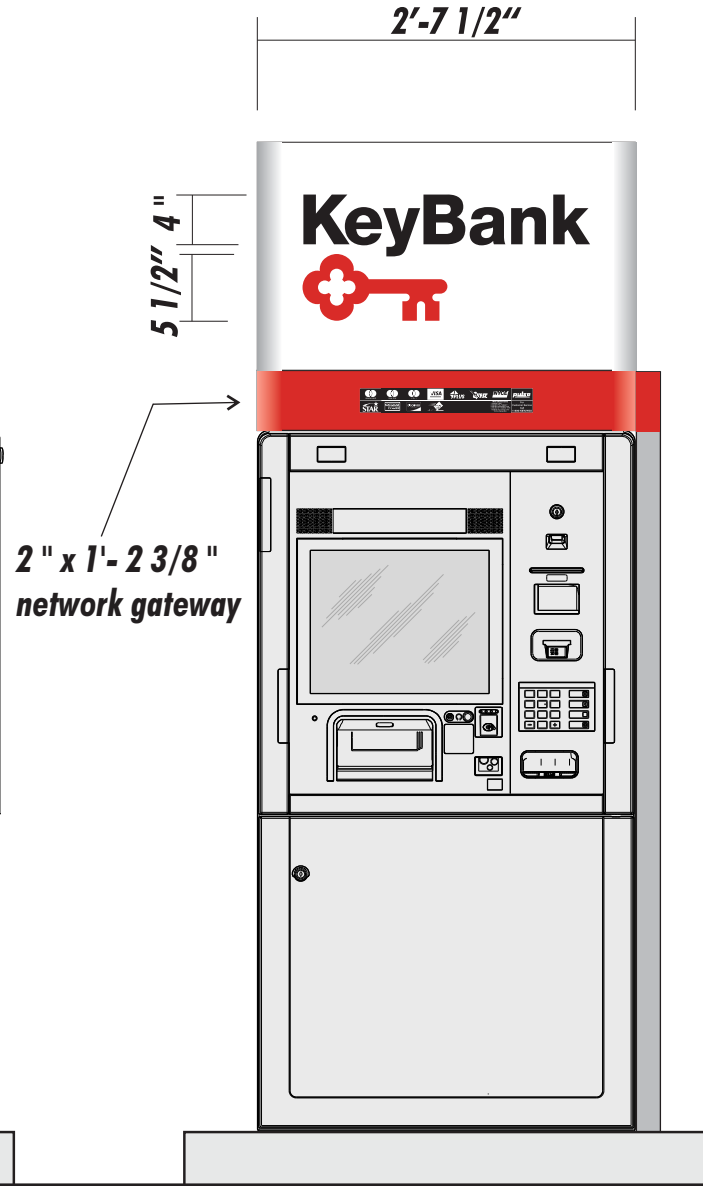
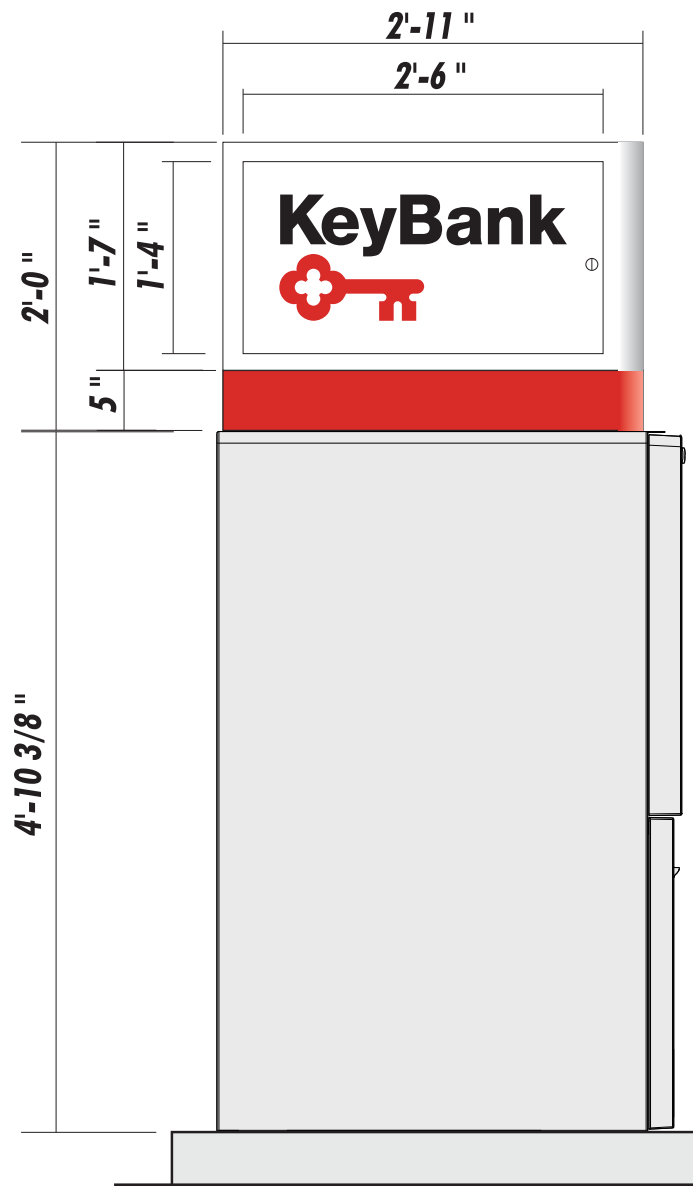
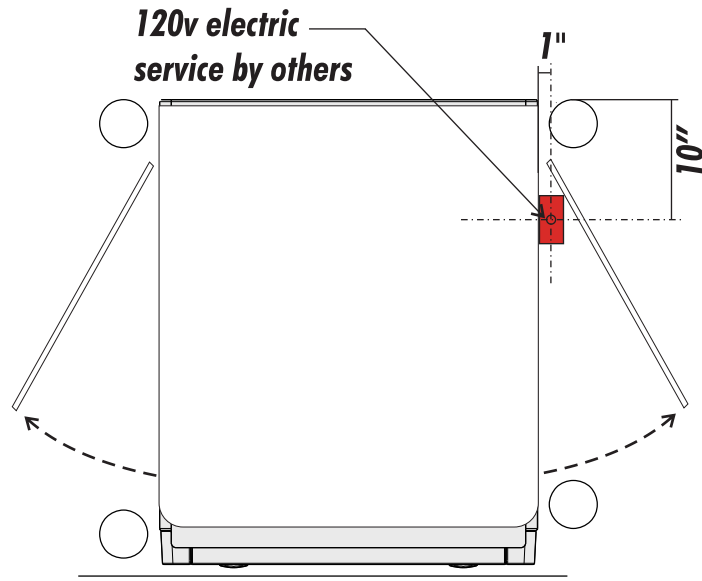
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5" diameter equipment cooling fan with nickel-chrome plated wire guard.

4" diameter aluminum louver vent



REAR VIEW



Diebold Nixdorf DN Series 490

NOTES:

~Fabricated aluminum drive-up ATM topper, with hinged locking doors and illuminated face graphics.

Face graphics to illuminate; graphics on leading and trailing edges to be non-illuminated, vinyl applied to doors. Face Key and copy cut-out of aluminum face, with 1/2" clear plexiglas pushed thru openings; plex to have 3M vinyls applied to first surface, with edges of push thru left clear and polished.

Key vinyl to be 3M red t3630-33. "KeyBank" vinyl to be 3M black. Applied vinyl graphics on leading and trailing edges to be 3M red 3630-33 for Keys, 3M black for "KeyBank" copy.

Bottom band to be painted red SW GF5-54278-C, satin finish.

All remaining visible surfaces to be painted satin white.

~Aluminum gateway with solvent ink-jet printed vinyl graphics, to be applied to face of reveal. All logo, copy and lines to be white on black background.

RATED 120 VOLTS

DN 490 topper

2" x 4" x 5'-3 3/8" long paired channel wire raceway; paint PMS #877C silver & red PMS #1795C

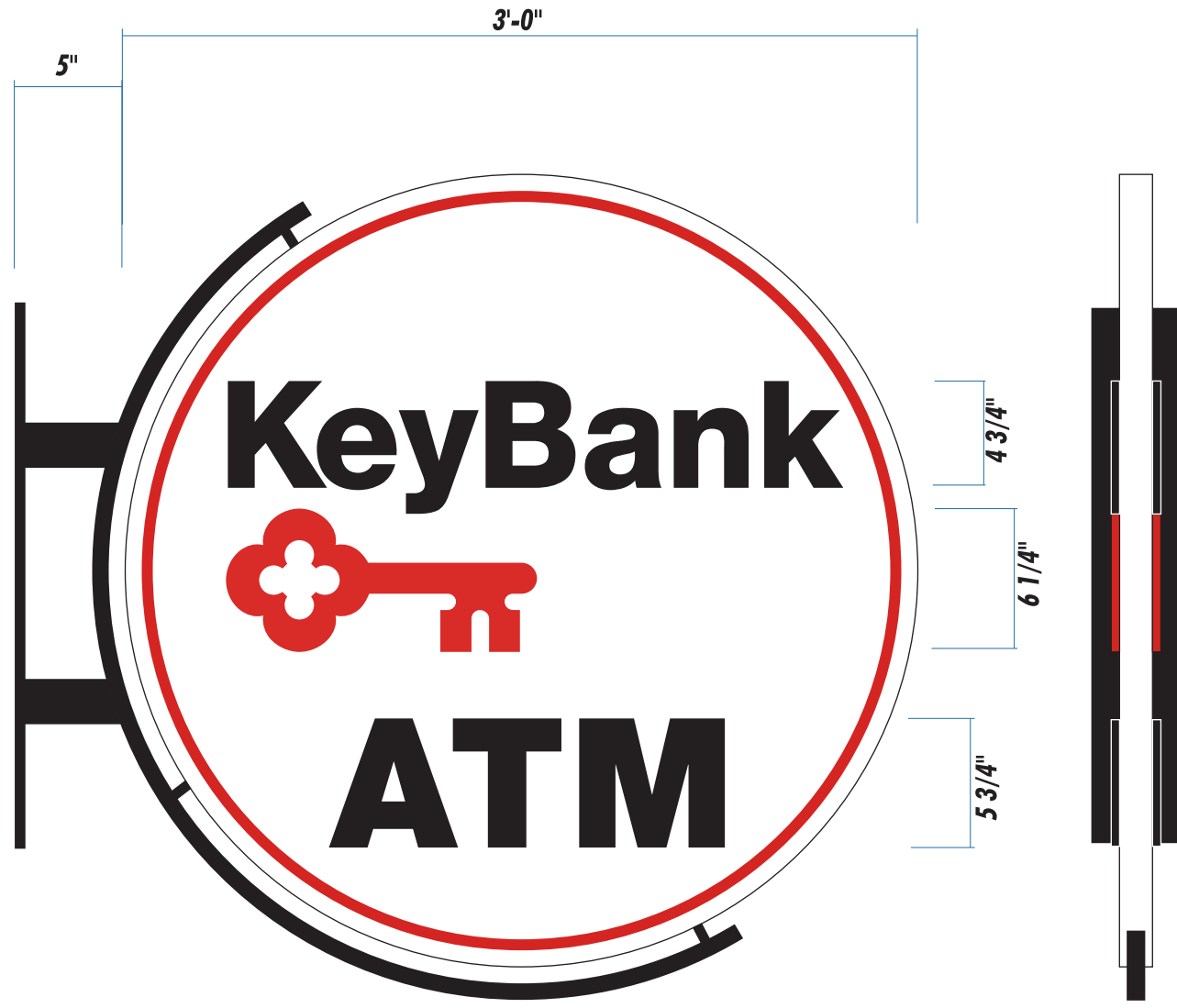
NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

Brilliant Electric Sign Co., Ltd.
4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800



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COMPANY NAME	KeyBank	SALESMAN	H	DATE	9-30-22	REVISION		DESIGN NO.	B22-1600	
LOCATION	2011 West 25th Street, Cleveland, Ohio	DESIGNER	DM	SCALE	3/4" = 1'-0"			COPYRIGHT ©	2022	
									FILE NAME	N/key OH/2011 west 25th ATM



INSTALLATION ELEVATION SCALE 1/4" = 1'-0"

NOTES:

- Double-face, non-illuminated fabricated aluminum projecting sign with dimensional copy and steel mounting bracket.*
- Main sign panel to be fabricated aluminum painted white with red PMS 1795C inset border.*
- All copy to be 3/8" PVC, painted black and flush mounted to background.*
- Key logo to be 3/8" PVC, painted red to match PMS 1795C and flush mounted to background.*
- Steel bracket to be painted black.*

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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COMPANY NAME	KeyBank	SALESMAN	H	DATE	9-30-22	REVISION	DESIGN NO.	B22-1601
LOCATION	2011 West 25th Street, Cleveland, Ohio	DESIGNER	DM	SCALE	1-1/2" = 1'-0"		COPYRIGHT ©	2022
							FILE NAME	N/key OH/2011 west 25th ATM

Cleveland Landmarks Commission

Design Review



January 26, 2023

Cleveland Landmarks Commission

Staff Report



January 26, 2023

Certificate of Appropriateness

January 26, 2023



Case 23-005: Ohio City Historic District

Lutheran School of Phlebotomy – 2706 Franklin Boulevard

Ramp Installation

Ward 3: McCormack

Project Representatives: Erica Hallow, Anthony Rodriguez (Vocon), Matthew MacRaid (Cleveland Clinic)



FINAL DESIGN REVIEW PACKAGE:

OHIO CITY LOCAL HISTORIC DESIGN REVIEW & LANDMARKS COMMISSION

JANUARY 26, 2023

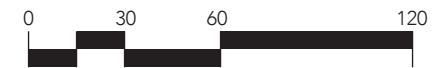
**PHASE II:
LUTHERAN SCHOOL OF PHLEBOTOMY
2706 FRANKLIN DRIVE
CLEVELAND, OH 44113**

01

EXISTING CONDITIONS

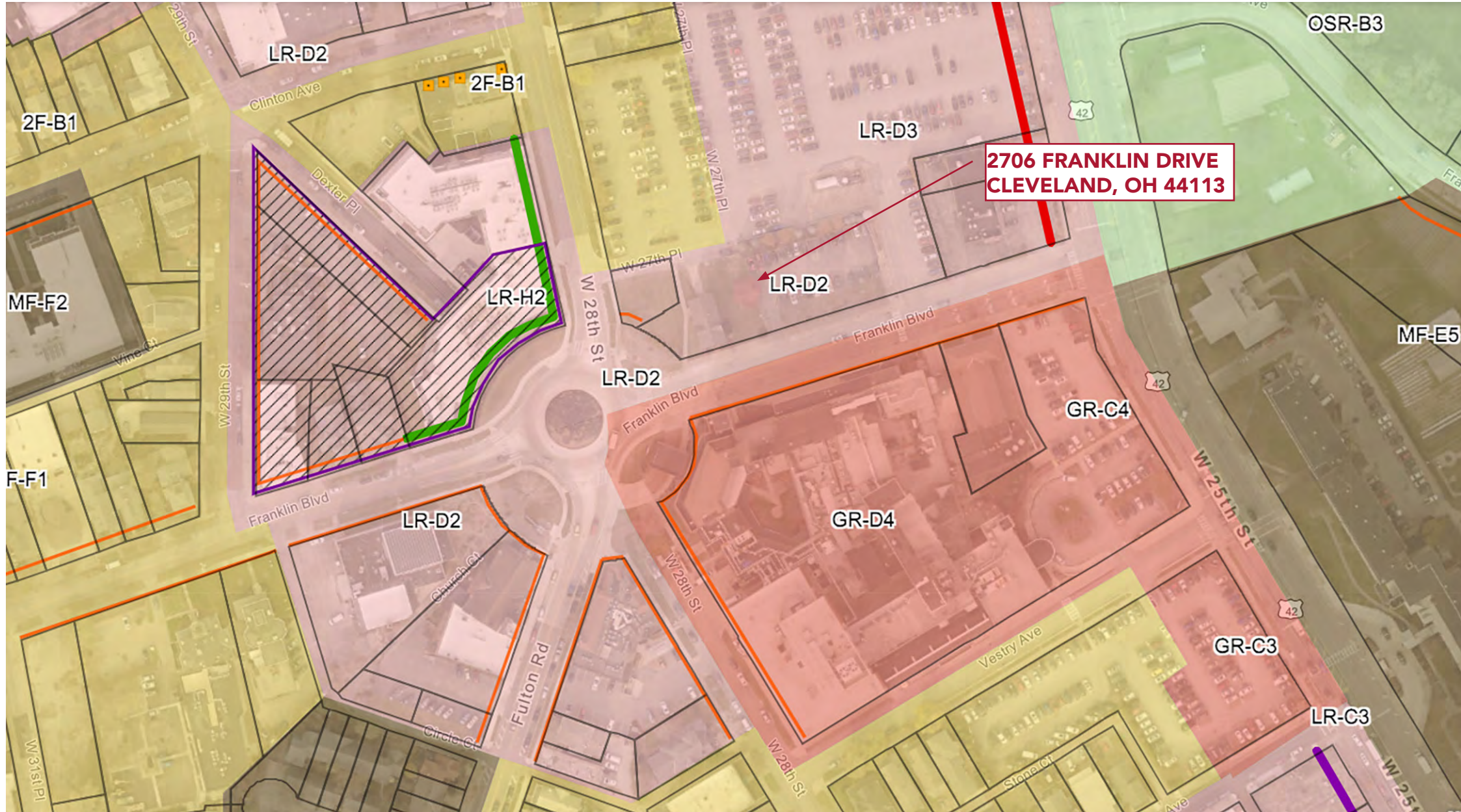
SITE CONTEXT

2706
FRANKLIN



SCALE: 1" = 60'-0"

EXISTING CONDITIONS
SITE LOCATION AND ZONING



2706 FRANKLIN BLVD

CURRENT ZONING

Area District: D
Height District: 2
Use District: Local Retail Business
Zone Code: LR-D2

DESIGN REVIEW REGIONS

Near West

NATIONAL HISTORIC DISTRICTS

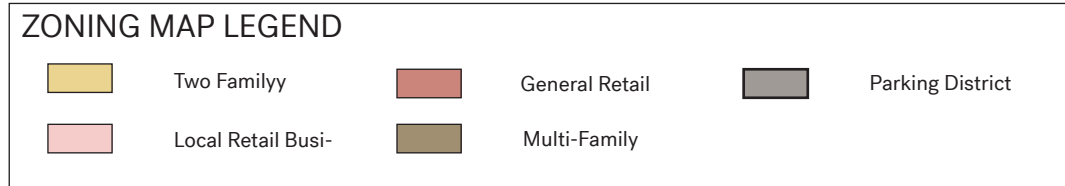
Ohio City Preservation District

LOCAL LANDMARK DISTRICTS

Ohio City (Takes Precedents)

CLEVELAND PARCELS

Parcel #: 00328016
Address: 1532 W 25th St.
Cleveland, OH 44113
Owner: Lutheran Hospital



NORTH



EXISTING CONDITIONS
FRANKLIN BLVD



NORTH ELEVATION



NORTHWEST ELEVATION



SOUTH ELEVATION



SOUTHWEST ELEVATION

EXISTING CONDITIONS

WEST 28 ST STREET

THE HISTORICAL CARRIAGE HOUSE BUILDING WAS RESTORED AND RELOCATED IN 1978. DURING THIS RELOCATION PROCESS THE EXISTING STONE LEDGE WAS PLACED ON A NEW CONCRETE BLOCK WALL TO CREATE A UTILITY SPACE BELOW.



ORIGINAL STONE LEDGE
CONCRETE BLOCK WALL CONSTRUCTED IN 1978 RELOCATION

EXISTING STAIR: TO BE REMOVED



EXISTING STAIR: TO BE REMOVED

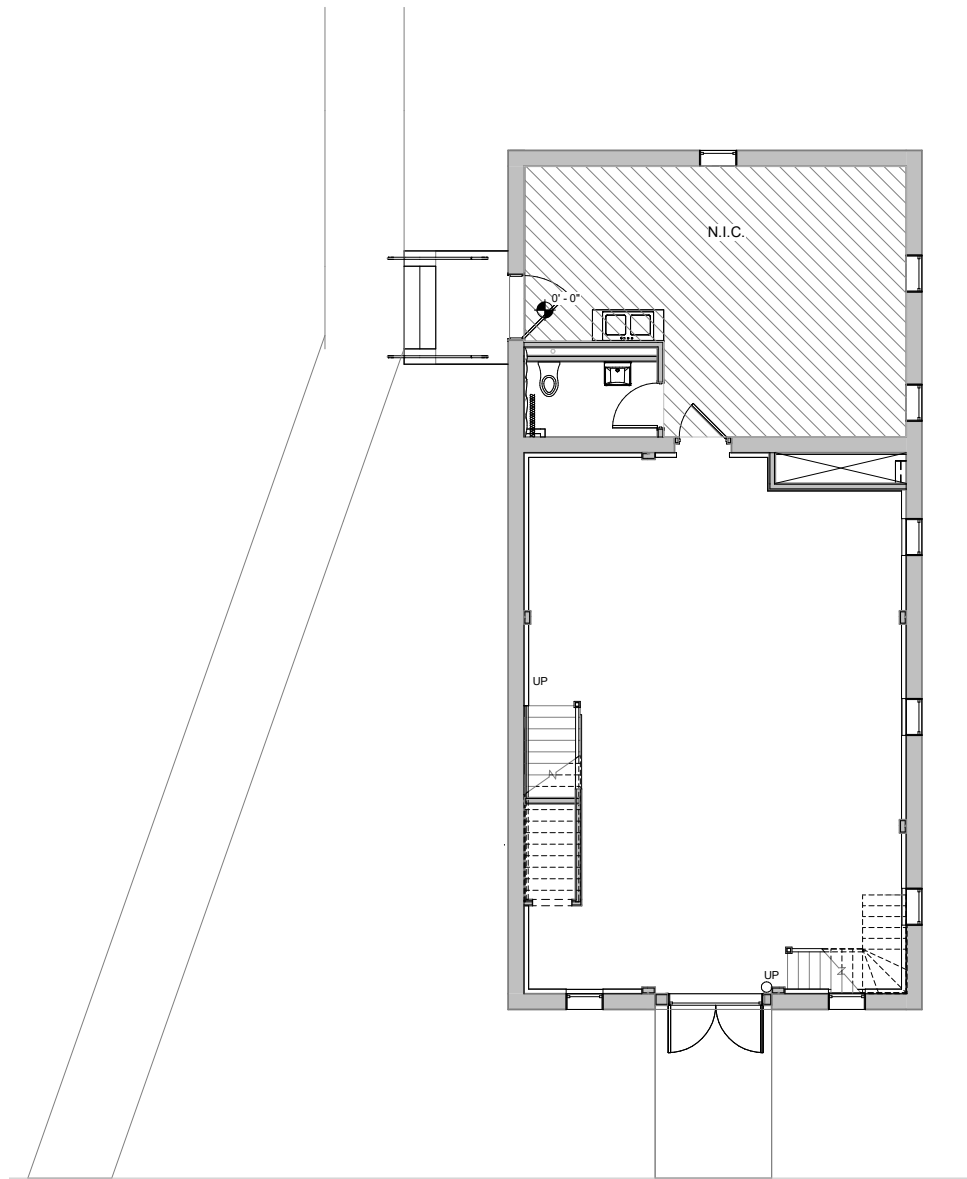


EXISTING RAIL AT FRONT ENTRY

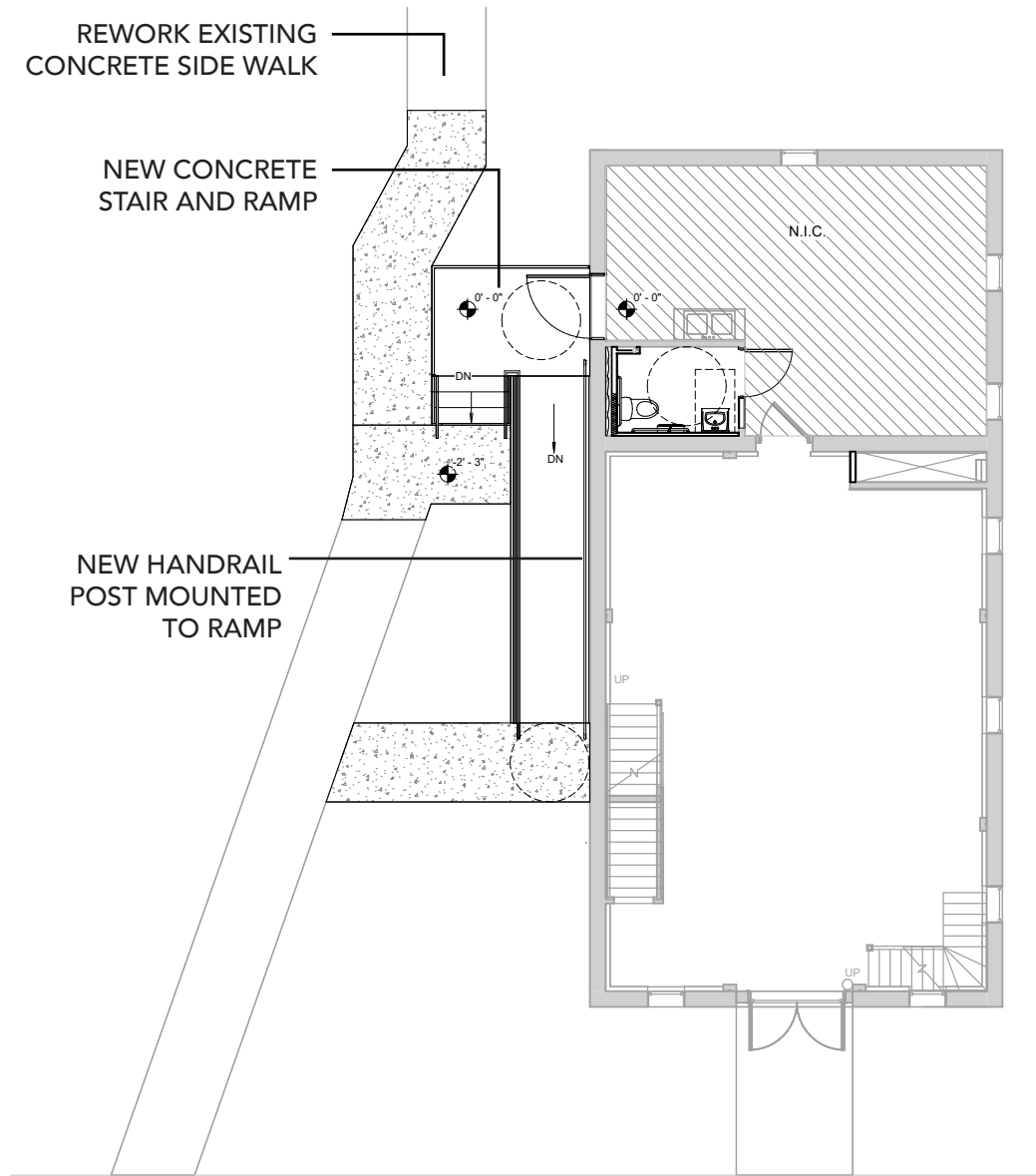
02

PROPOSED BUILDING MODIFICATIONS

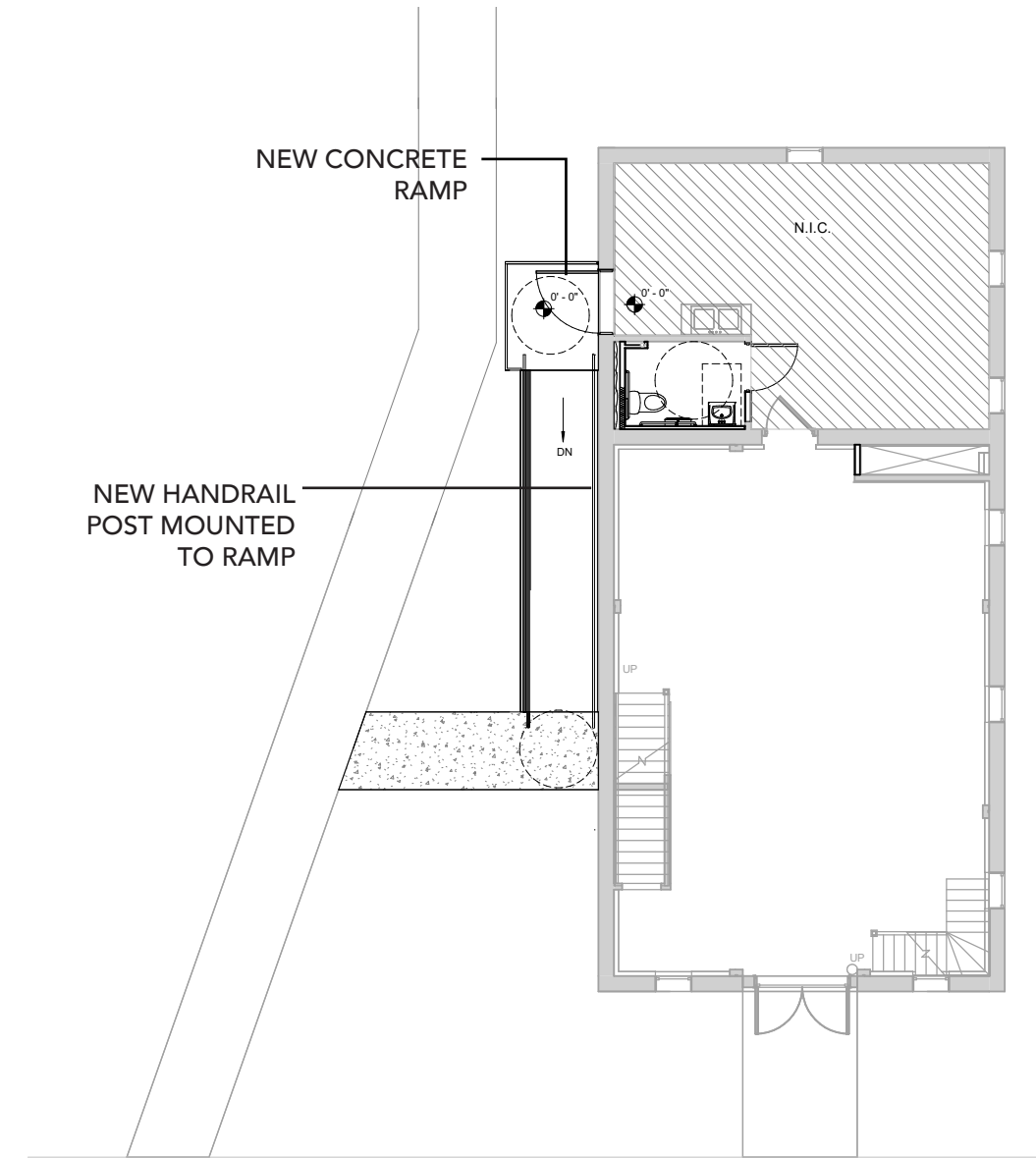
PROPOSED PLAN



EXISTING CONDITIONS



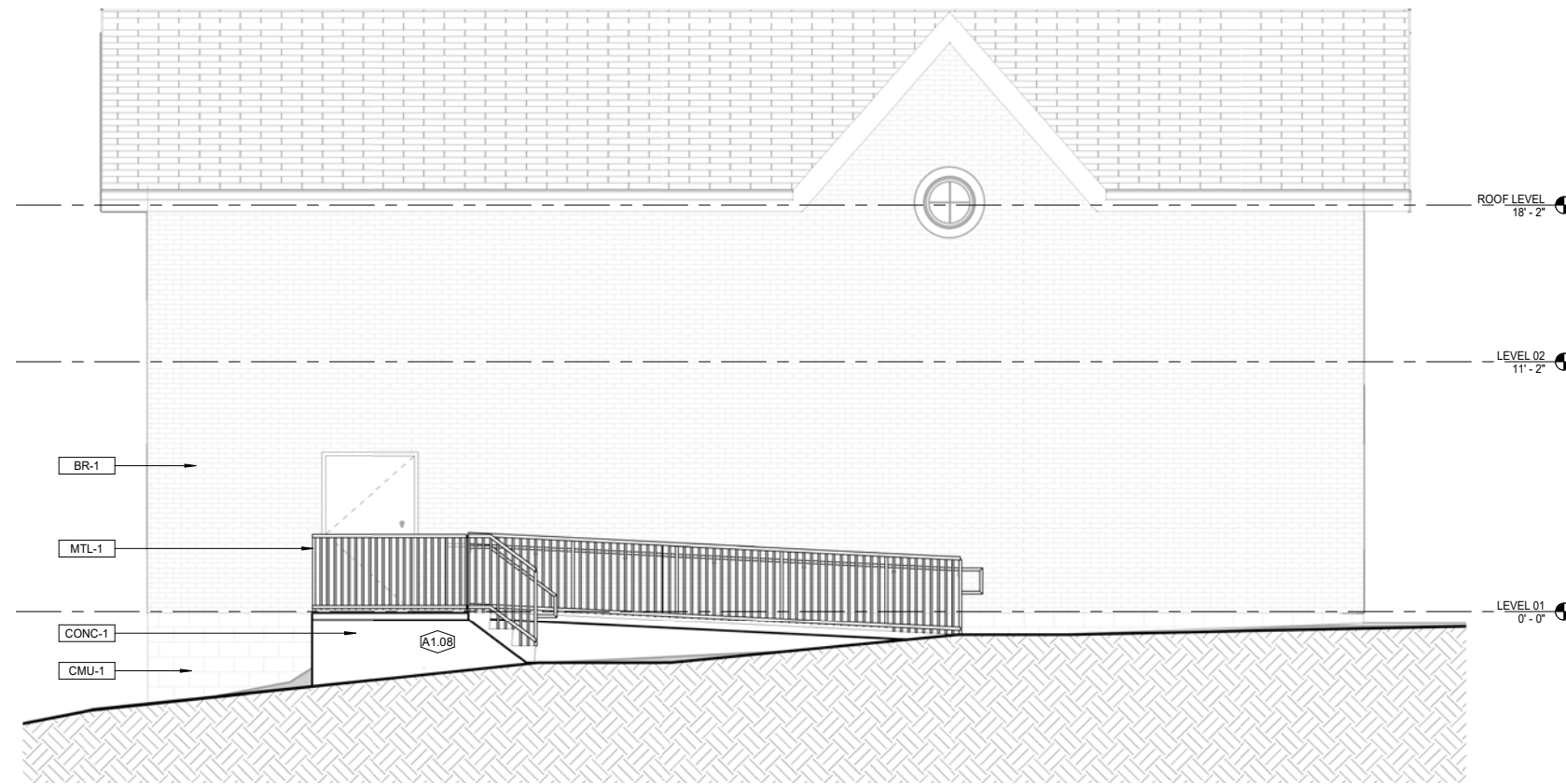
PROPOSED PLAN



PROPOSED PLAN-ALTERNATE

PROPOSED ELEVATIONS

EXTERIOR FINISH SCHEDULE			
FINISH TAG	MATERIAL	COLOR	COMMENTS
BR-1	BRICK		EXISTING BRICK TO REMAIN
CMU-1	CONCRETE MASONRY UNIT		EXISTING TO REMAIN
CONC-1	CONCRETE		NEW CONCRETE RAMP AND STAIR
MTL-1	METAL RAIL	BLACK	



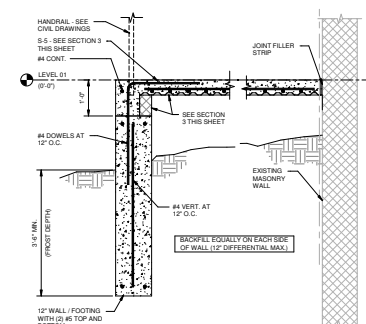
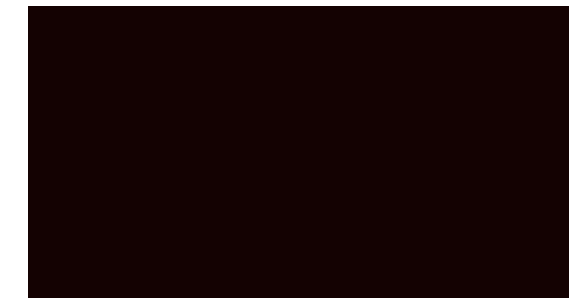
WEST ELEVATION

EXTERIOR LEGEND

Picket Style Rail



Jet Black Powder Coated



Ramp Detail

vocon.

**LET YOUR
SPACES SPEAK.**

Cleveland Landmarks Commission

Design Review



January 26, 2023

Cleveland Landmarks Commission

Staff Report



January 26, 2023

Certificate of Appropriateness

January 26, 2023



Case 23-006: Ohio City Historic District

1904 West 44th Street

Gutter and Porch Replacements

Ward 3: McCormack

Project Representatives: John Alvord, Patrick Nicolino (Owners), Charles Gihla (Civitas Cle)

1904 W 44th St



1904 W 44th St

1904 W 44th St, Cleveland, OH 44113



Front West Side, Facing West
44th Street



Front West Side, Facing West 44th Street

The image shows the south rear side of a two-story wooden house in poor condition. The exterior is clad in horizontal wooden siding that is heavily weathered, with significant peeling and missing paint, particularly around the window and door frames. The roof is dark and appears to be made of asphalt shingles, but it is severely damaged, with large sections missing, especially on the left side. A tree with green leaves is visible behind the house, and a clear blue sky is in the background. A window with a decorative glass pane is visible in the lower center, and another window is on the right. A vertical pipe or downspout runs down the side of the house. The overall scene suggests a need for extensive repair and maintenance.

South Rear side of house. Repair
and add metal gutter.
Picture 1

A photograph of the rear south side of a dilapidated wooden house. The house has horizontal wooden siding that is heavily weathered and peeling. A large section of the roof is missing, exposing the interior structure. A window is visible on the right side, and a light fixture is mounted on the wall. The sky is clear and blue, and a tree is visible in the background.

Text

Rear South Side of house. Repair and add metal gutter.



Rear South Side of house. Repair
and add metal gutter.
Picture 2



South Side of the house. Referenced rebuild of side porch.



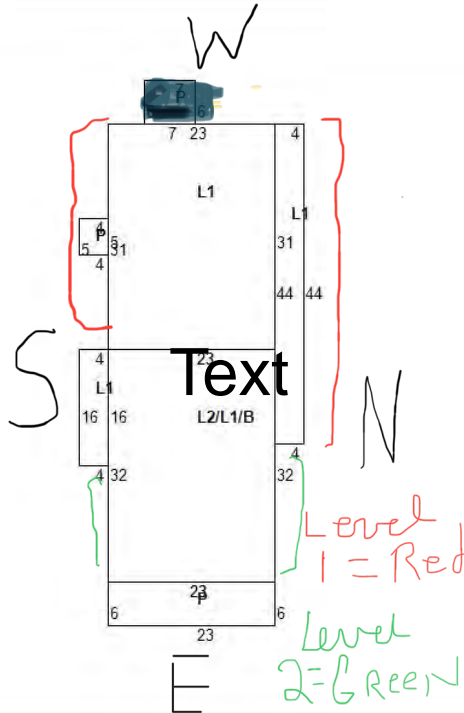
North side of the home, photo facing East. Lower section proposed area for addition of metal gutter.



North Rear of the home, lower portion proposed metal gutter addition.

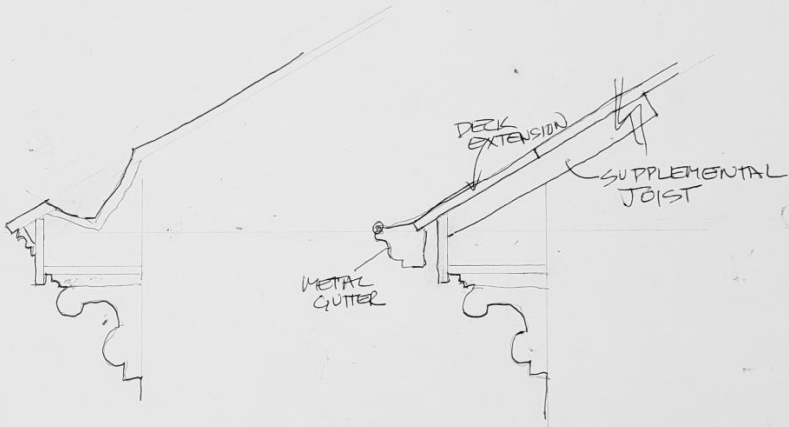
Building Sketch

Building 1



Top

View Map

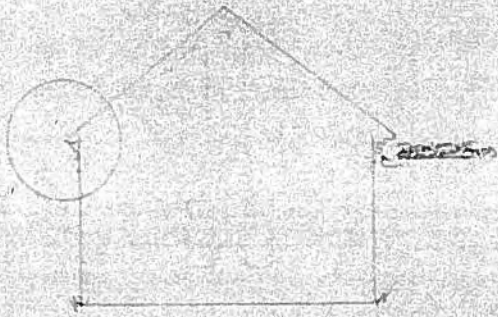


EXISTING BOX GUTTER

PROPOSED METAL GUTTER

2 AUG 22 ALVORD RESIDENCE
N.T.S.

5/10



TRUSS
SUPPORT

TRUSS
SUPPORT

TRUSS
SUPPORT

TRUSS
SUPPORT

TRUSS
SUPPORT

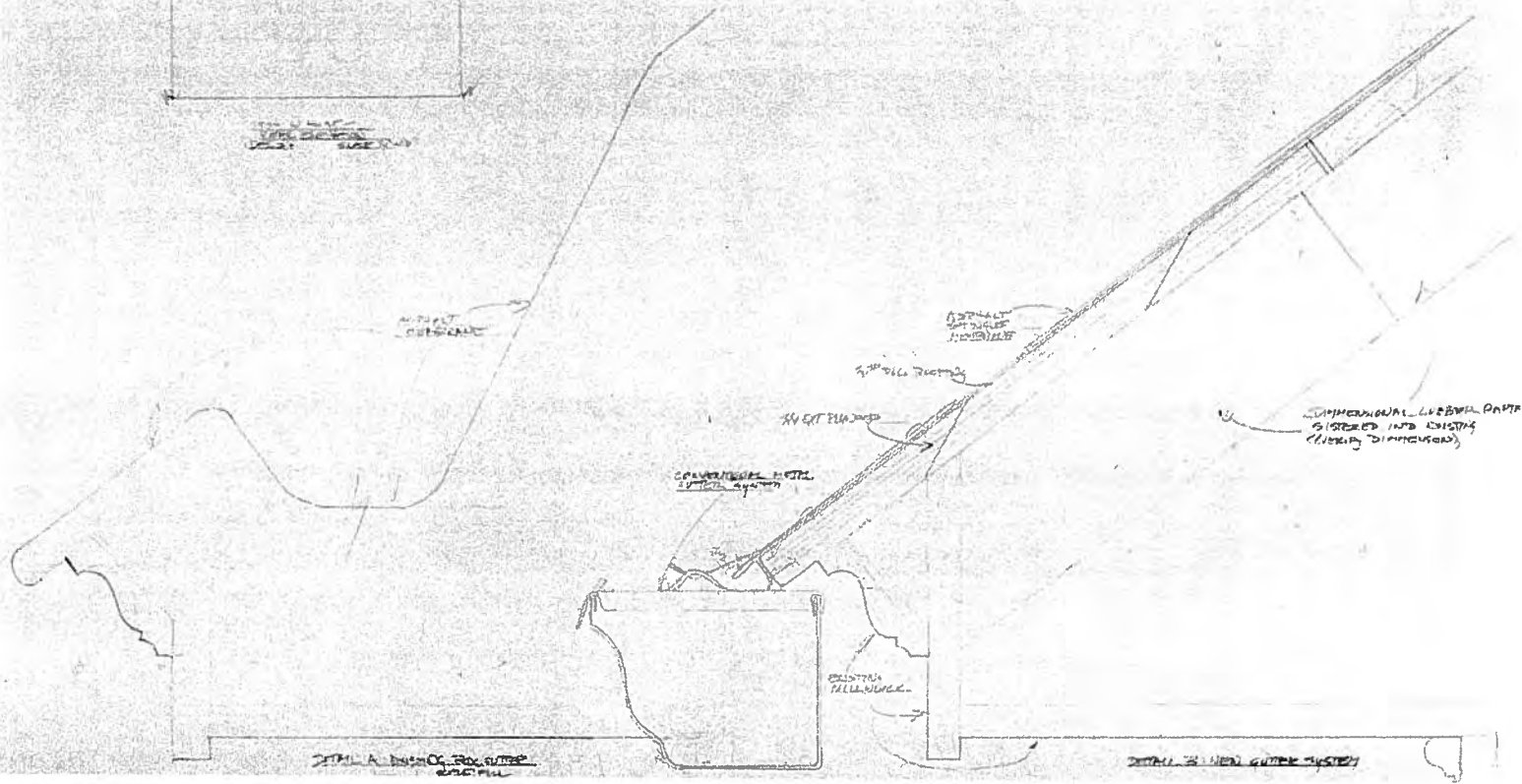
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SUPPORT

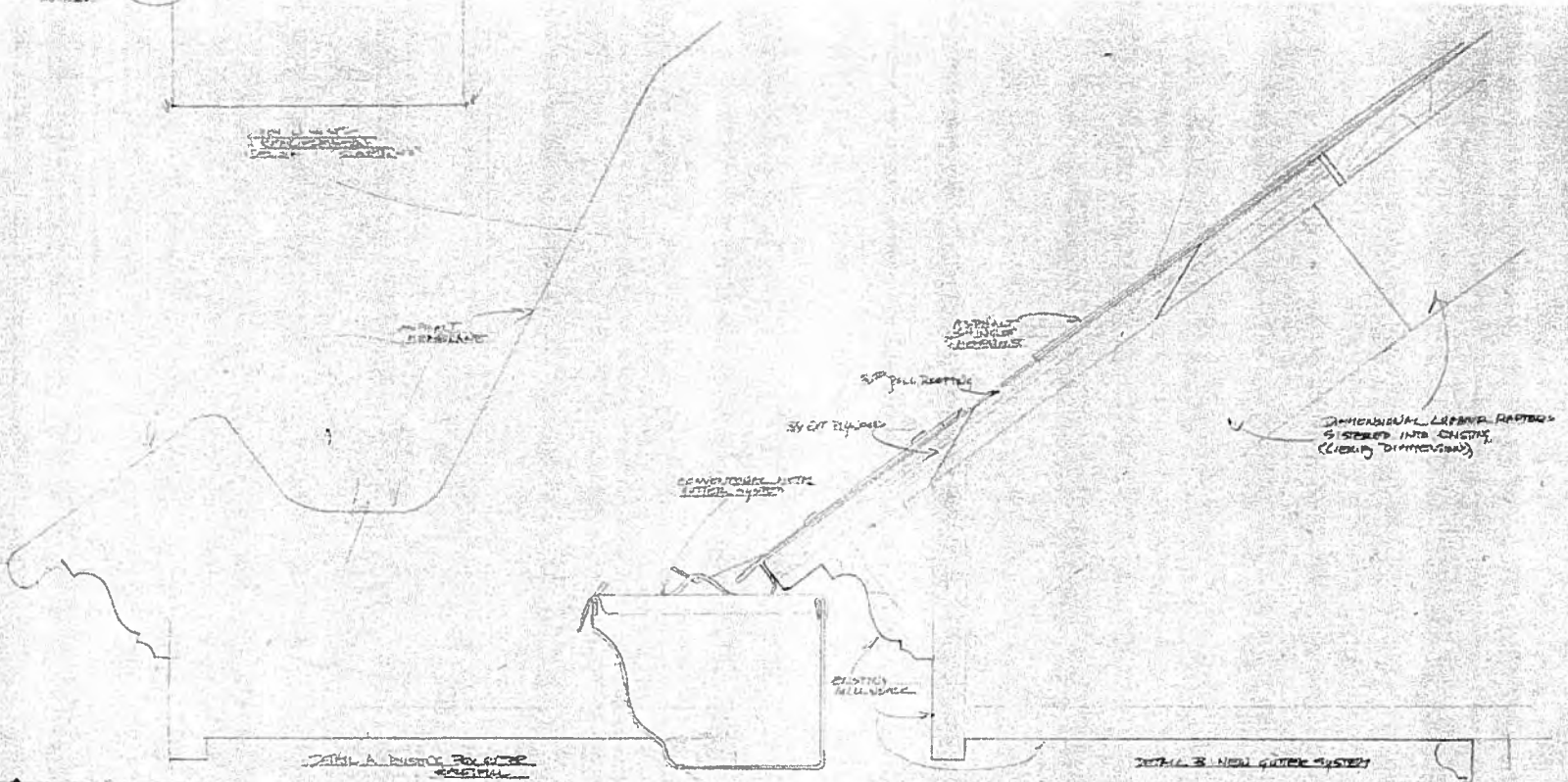
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SUPPORT

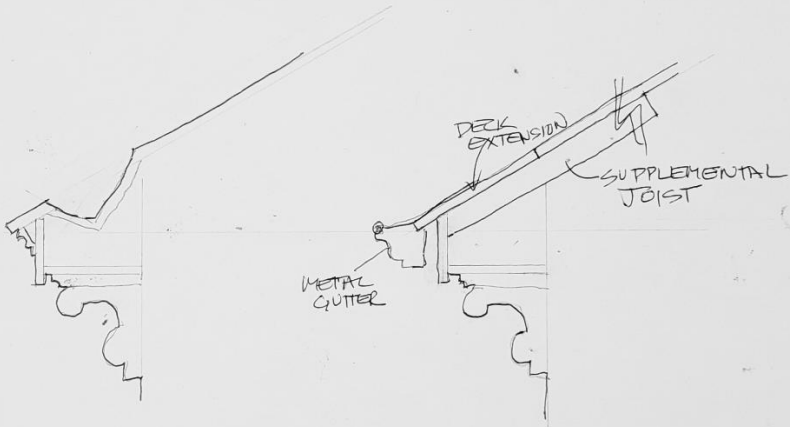
TRUSS
SUPPORT

TRUSS
SUPPORT

TRUSS
SUPPORT







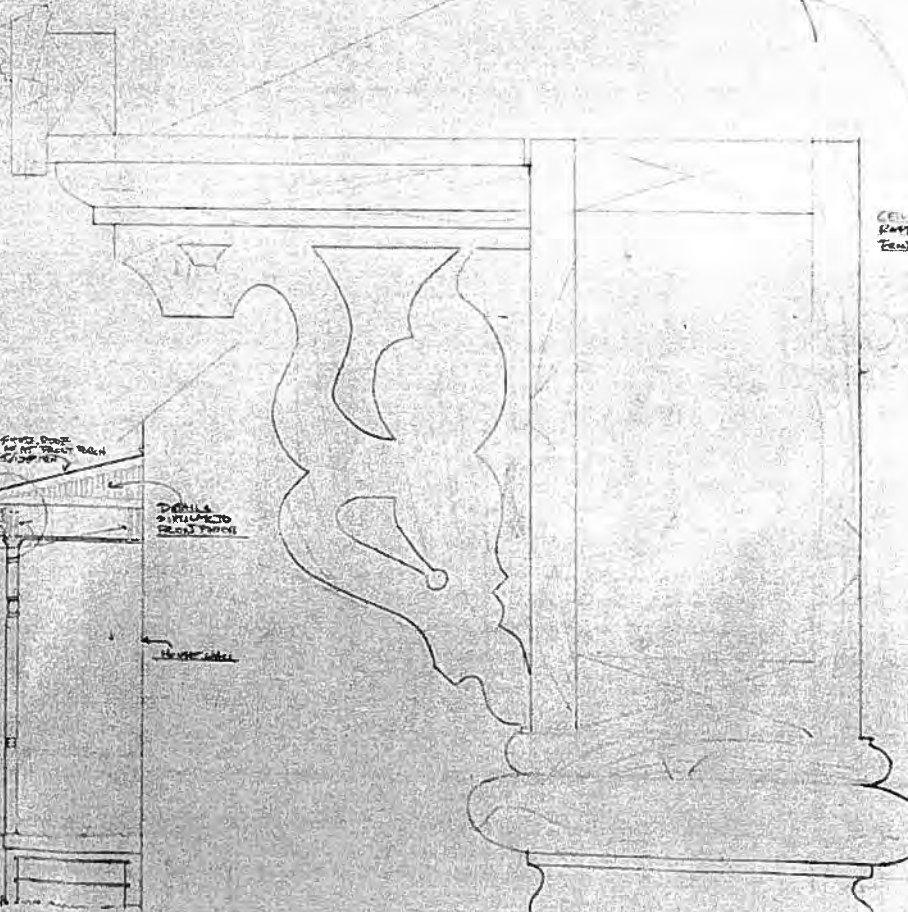
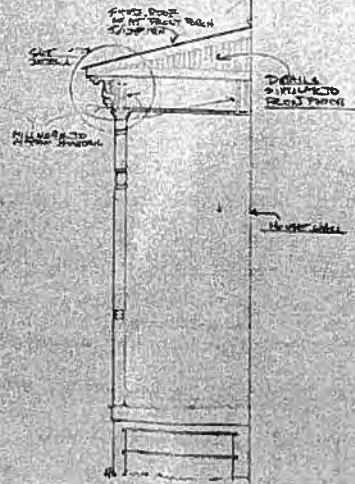
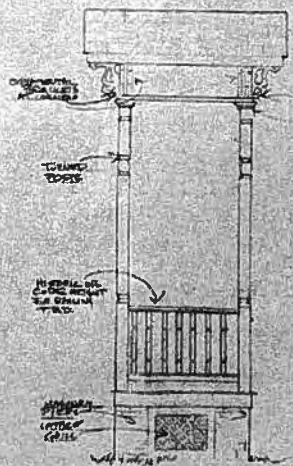
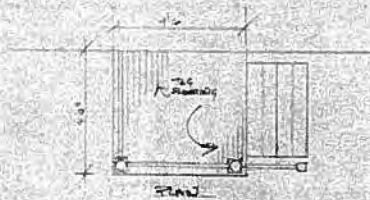
EXISTING BOX GUTTER

PROPOSED METAL GUTTER

ALVORD RESIDENCE

2 AUG 22

N.T.S.



CELL
RAMP
FRONT

Cleveland Landmarks Commission

Design Review



January 26, 2023

Cleveland Landmarks Commission

Staff Report



January 26, 2023

Certificate of Appropriateness

January 26, 2023



Case 23-007: Magnolia-Wade Park Historic District

Wade House Community Engagement Center – 11310 Wade Park Avenue

Renovation and Garage Demolition

Ward 9: Conwell

Project Representatives: Wendy Harbaugh, Joanne Brown, Julian Rogers (Case Western Reserve University)

Wade House Community Engagement Center

Building Repurposing & Renovation

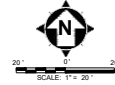
11310 Wade Park Avenue

PPN: 120-19-031

January 26, 2023
City of Cleveland Landmarks Commission
Review







PRELIMINARY



DATE	10/15/2010
PROJECT	190909
CLIENT	CASE WESTERN RESERVE UNIVERSITY
LOCATION	CLEVELAND, OH 44106
SCALE	1" = 20'
DATE	10/15/2010

WADE HOUSE
CASE WESTERN RESERVE UNIVERSITY
- CLEVELAND, OH 44106 -

EXISTING CONDITIONS

PROJECT NO.	190909
DATE	10/15/2010
SCALE	1" = 20'
DATE	10/15/2010
NO.	1
NO.	2



GARAGE



GARAGE



GARAGE



GARAGE

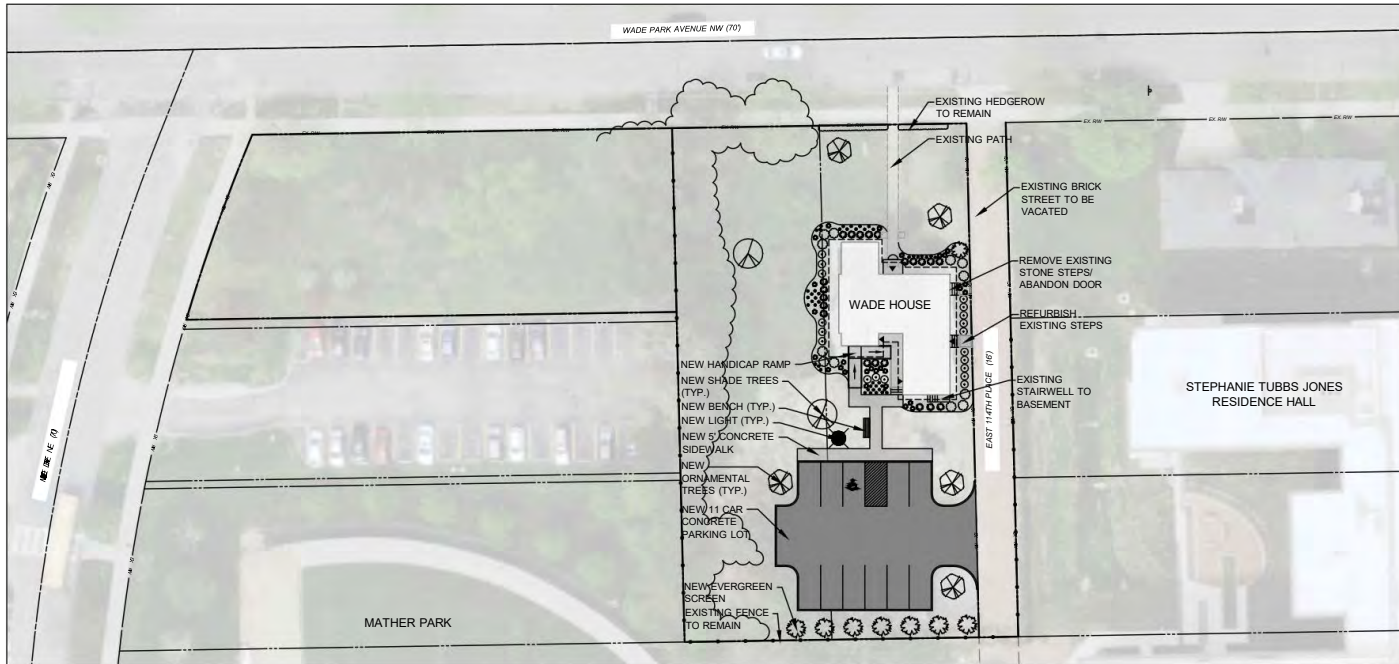


NORTH FACADE

PROPOSED PROJECT SCOPE:

1. Demolish existing garage structure.
2. Vacate street (E. 114th Place) and consolidate lot.
3. Conditional Use approval for Business.
4. Renovate exterior of existing structure.
5. Remove second floor porch addition and exterior door at third floor.
6. Renovate interior of structure for new community outreach programming. Programming includes offices for 4-5 full-time CWRU staff, plus meeting and community spaces.
7. New parking lot with lighting.
8. New accessibility ramp entrance constructed of composite wood with metal rails & guard.
9. New landscaping.

WADE PARK AVENUE NW (70)



LEGEND

-  **CANDY TREES - 2' CALIPER**
SUMMER SPICE, WINKLE BIRD, SUNSET
MAPLE, FRONTIER ELM, LINDEN
-  **ORNAMENTAL TREES - 2' CALIPER**
HAWTHORN, CHERRY, CRABAPPLE, TREE
LILAC, BIRCH
-  **EVERGREEN TREES - 6' FT**
SPRING SPICE, DOUGLASS FIR, NORWAY
SPRUCE, FIR, ARDOURVAE
-  **SHRUBS - LARGE 24"**
DENSE YEW, VIBURNUM, BURNING BUSH,
WINTERBERRY, HYDRANGEA, DOGWOOD, LILAC
-  **SHRUBS - SMALL 12"**
PEA, NOWWOD, JUNIPER, SPIRAEA, ROSE
-  **GRASSES/PERENNIALS - 1 GAL**
SWISS BLOOD GRASS, SCISSOR REED,
GRASS, BLOOD GRASS, FOURCROWN
GRASS, CONIFLOWER, CATNIP,
SALVA, PEACH



PRELIMINARY

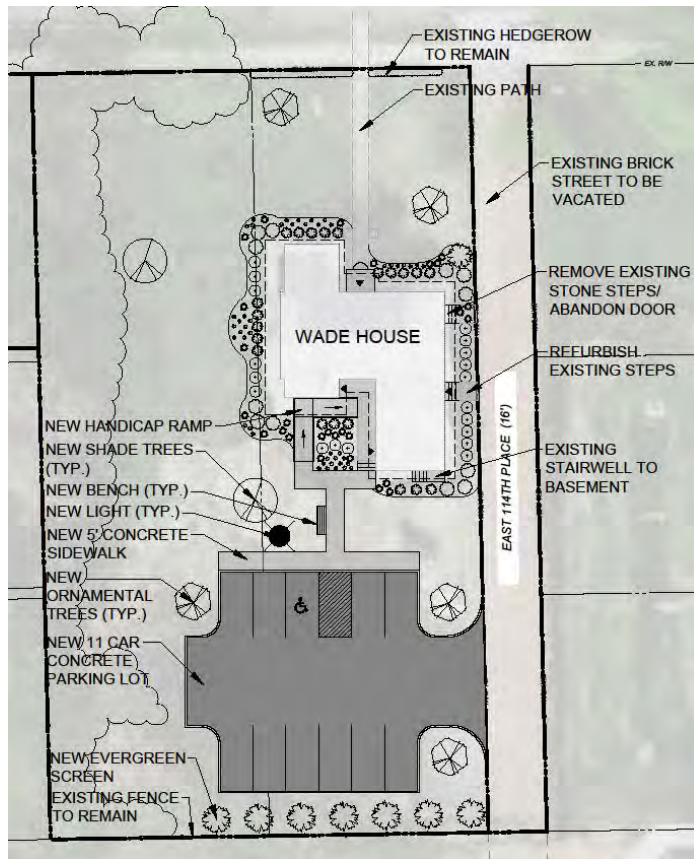


DATE	REVISION	NO.

WADE HOUSE
WESTERN RESERVE UNIVERSITY
 - CLEVELAND, OH 44106 -

LAYOUT SCHEME 1

PROJECT NO.	190009
SUBJECT	LAND
SHEET NO.	L-1
TOTAL SHEETS	2



LEGEND



CANOPY TREES - 2" CALIPER
 SUMMER SHADE MAPLE, RED SUNSET
 MAPLE, FRONTIER ELM, LINDEN



ORNAMENTAL TREES - 2" CALIPER
 HAWTHORN, CHERRY, CRABAPPLE, TREE
 LILAC, BIRCH



EVERGREEN TREES - 6' HT.
 SERBIAN SPRUCE, DOUGLAS FIR, NORWAY
 SPRUCE, FIR, ARBORVITAE



SHRUBS - LARGE 24"
 DENSE YEW, VIBURNUM, BURNING BUSH,
 WINTERBERRY, HYDRANGEA, DOGWOOD, LILAC



SHRUBS - SMALL 15"
 ITEA, BOXWOOD, JUNIPER, SPIRAEA, ROSE



GRASSES/PERENNIALS - 1 GAL
 DAYLILY, BLACK-EYED SUSAN, REED
 GRASS, BLOOD GRASS, FOUNTAIN
 GRASS, CONEFLOWER, CATMINT,
 SALVIA, PHLOX



Replace existing roof.

Install new gutters & downspouts and new exterior lighting.

Remove second floor porch addition and exterior door at third floor.

New exterior lighting.

Replace all windows with metal clad exterior, interior wood windows, double-hung and white.

Paint existing trim to match window frame color.

Add new landscaping.

NORTH FACADE



Replace with three double hung to match first floor configuration.

Replace existing roof.

Install new gutters & downspouts and new exterior lighting.

Paint/stain existing wood siding and trim.

New exterior lighting.

Replace all windows with metal clad exterior, interior wood windows, double-hung and white.

New accessible ramp.

Add new landscaping.

SOUTH FACADE



Install new gutters & downspouts and new exterior lighting.

Replace existing roof.

Replace all windows with metal clad exterior, interior wood windows, double-hung and white.

New exterior lighting.

Paint/stain existing wood siding and trim.

Remove existing door & steps. Infill opening with new window and salvaged brick below.

Repair existing stairs and replace door. Add lighting.

Add new landscaping.

EAST FACADE



Remove second floor porch addition and exterior door at third floor.

Replace existing roof.

Install new gutters & downspouts and new exterior lighting.

New exterior lighting.

Replace all windows with metal clad exterior, interior wood windows, double-hung and white.

New door.

New accessible ramp.

Add new landscaping.

WEST FACADE



Replace existing roof, gutters & downspouts

Paint trim.

New exterior lighting.

Renovate existing door.

Repair existing stoop.
Replace and add metal guard / handrail.

Existing sandstone walk to remain

Add new landscaping.

NORTH ENTRANCE &
STOOP



1960s COUNTY ARCHIVE
NO UPPER ENCLOSURE



1980s ARCHIVE



ORIGINAL ROOF FRAMING



ORIGINAL ROOF FRAMING



2ND FLOOR PORCH
CEILING/ROOF FRAMING



2ND FLOOR PORCH
CEILING/ROOF FRAMING







STEPHANIE TUBBS JONES RESIDENCE
HALL



STEPHANIE TUBBS JONES RESIDENCE
HALL



CWRU SUSTAINABILITY
HOUSE



CWRU SUSTAINABILITY HOUSE
& STJ RESIDENCE HALL



WADE PARK AVE. (ACROSS STREET)



WADE PARK AVE. (ACROSS STREET)



WADE PARK AVE. (ACROSS STREET)



WADE PARK AVE. (CORNER PROPERTY)



BRICK & WHITE TRIM (E. 115th STREET)



BRICK & WHITE TRIM (E. 115th STREET)



MUSIC SETTLEMENT
PARKING



CWRU MATHER SOFTBALL PARK

THANK YOU



PROPOSED PROJECT SCOPE:

1. Demolish existing garage structure.
2. Vacate street (E. 114th Place) and consolidate lot.
3. Conditional Use approval for Business.
4. Renovate exterior of existing structure.
5. Remove second floor porch addition and exterior door at third floor.
6. Renovate interior of structure for new community outreach programming. Programming includes offices for 4-5 full-time CWRU staff, plus meeting and community spaces.
7. New parking lot with lighting.
8. New accessibility ramp entrance constructed of composite wood with metal rails & guard.
9. New landscaping.

Cleveland Landmarks Commission

Design Review



January 26, 2023



Magnolia-Wade Park-Grantwood Allotments Design Review Committee Certificate of Appropriateness Review

Date: 12/15/2022

File Number: NE22-02

Building / Project Name: Wade Park Renovation

Property Address: 11310 Wade Park Drive

Property Owner: Case Western Reserve University

Historic Designation: National Register Local Landmarks District Landmark Building

Presenters: Wendy Harbaugh, Julian Rogers, Joanne Brown

Specifications of work proposed:

Demolish existing garage – roof collapse and unstable

Renovate main house for community space – remove second floor enclosed balcony and add ramp to rear

Vacate adjoining street and update landscaping

Recommendations of Design Review Committee:

Recommend approval for demolition of garage; return with intent on preservation for renovations on home

Notes/Comments:

Frustration noted by Committee members on state of home and disrepair; concern on removing a residential-appearing building to be non-residential and removal of historic elements; comments on possibility to keep garage and restore or maintain part of the structure; concern on necessity to remove second floor enclosed balcony and evidence requested for original v. later addition

Design Review Committee:

Marc Baniszewski Not Present In-Favor Opposed Table Abstain/Recuse

Jeff Johnson Not Present In-Favor Opposed Table Abstain/Recuse

Lashanna Lawler Not Present In-Favor Opposed Table Abstain/Recuse

Lothario Marchmon Not Present In-Favor Opposed Table Abstain/Recuse

Matt Provolt Not Present In-Favor Opposed Table Abstain/Recuse

Ava Schmidt Not Present In-Favor Opposed Table Abstain/Recuse

Arleesha Wilson Not Present In-Favor Opposed Table Abstain/Recuse

Rob Norton Not Present In-Favor Opposed Table Abstain/Recuse

Non-Voting In Attendance Jessica Beam, Dan Musson

Required to present at Cleveland Landmarks Commission? Yes No **Date:**



Magnolia-Wade Park-East Blvd-Grantwood Allotments Design Review Committee Certificate of Appropriateness Review

Date: 1/19/2023

File Number: NE22-02

Building / Project Name: Wade Park Renovation

Property Address: 11310 Wade Park Drive

Property Owner: Case Western Reserve University

Historic Designation: National Register Local Landmarks District Landmark Building

Presenters: Wendy Harbaugh, Julian Rogers, Joanne Brown

Specifications of work proposed:

Renovate main house- tuckpointing, new windows, paint existing trim, remove existing second floor enclosed porch and restore walkout balcony. Landscaping and other improvements to return at a later date

Recommendations of Design Review Committee:

Recommend approval of exterior changes to home with condition on changes to east façade door returning. Future landscaping and other changes to return in the future

Notes/Comments:

Committee raised concerns for the future street vacating and care/maintenance of current brick street; retaining the historic bricks should be important and ensured. The Committee noted frustrations for work not beginning when Case received the property years ago. Committee commented on the positive changes to the home and discussed the removal of a door on the east façade – options proposed include removing stairs but keeping door, infilling with window and retaining wood awning, not in favor of complete removal and infill.

Design Review Committee:

Marc Baniszewski	<input checked="" type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse
Jeff Johnson	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> 1 In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse
Lashanna Lawler	<input checked="" type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse
Lothario Marchmon	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> 2 In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse
Matt Provolt	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse
Ava Schmidt	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse
Arleesha Wilson	<input checked="" type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse
Rob Norton	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain/Recuse

Non-Voting In Attendance Jessica Beam, Dan Musson

Required to present at Cleveland Landmarks Commission? Yes No **Date:** 1/26/2023

Cleveland Landmarks Commission

Staff Report



January 26, 2023

Cleveland Landmarks Commission

Concept Plan



January 26, 2023

Concept Plan

January 26, 2023



Case 23-008: Ohio City Historic District

2905 Jay Avenue

New Construction

Ward 3: McCormack

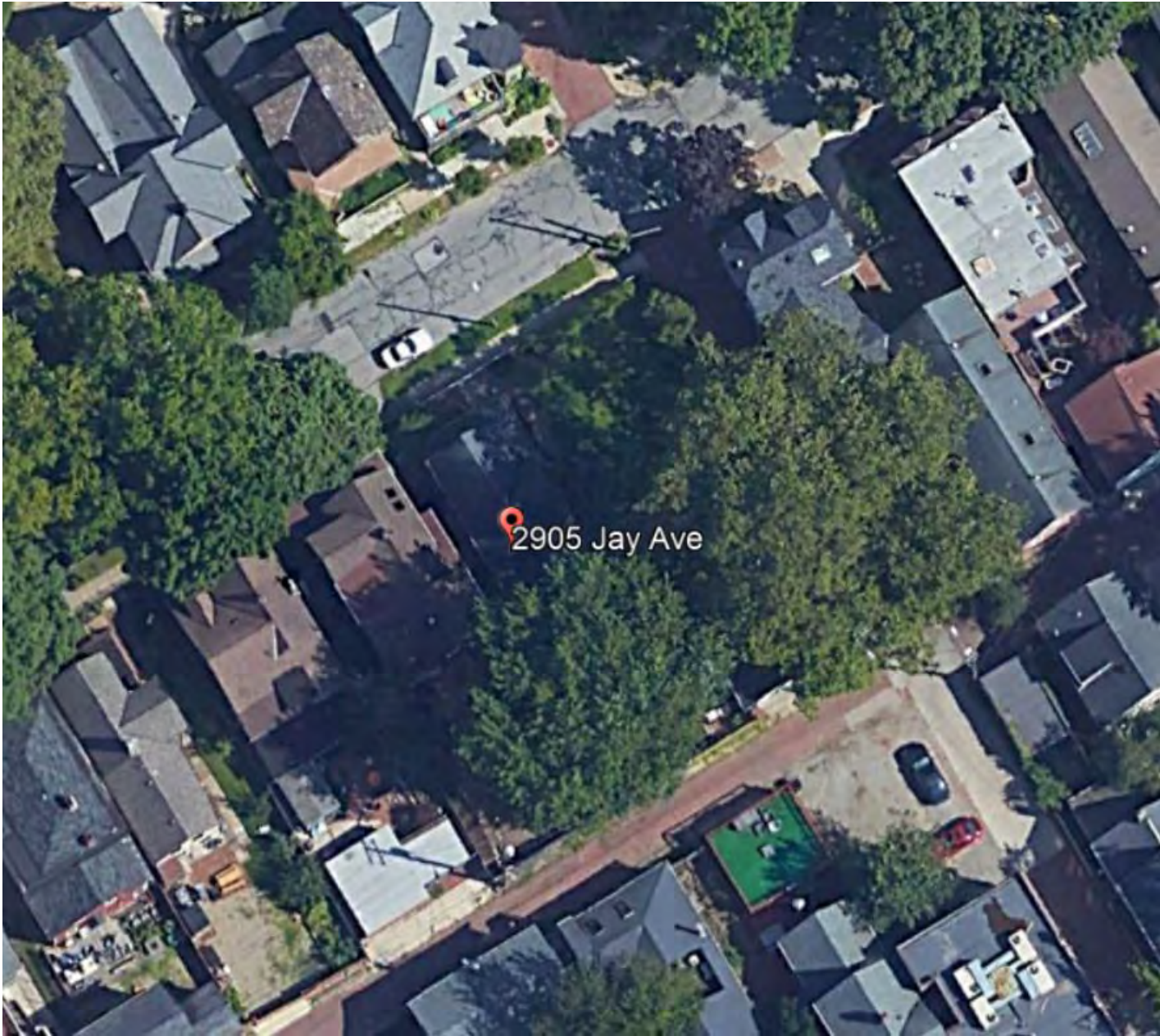
Project Representatives: Chris Rood (Architect)

WOLLENHAUPT

CONCEPTUAL DESIGN

WEST 29TH AND JAY AVE.

JANUARY 26, 2023



SITE AERIAL



PARCEL AERIAL

Existing Conditions | Conceptual Design

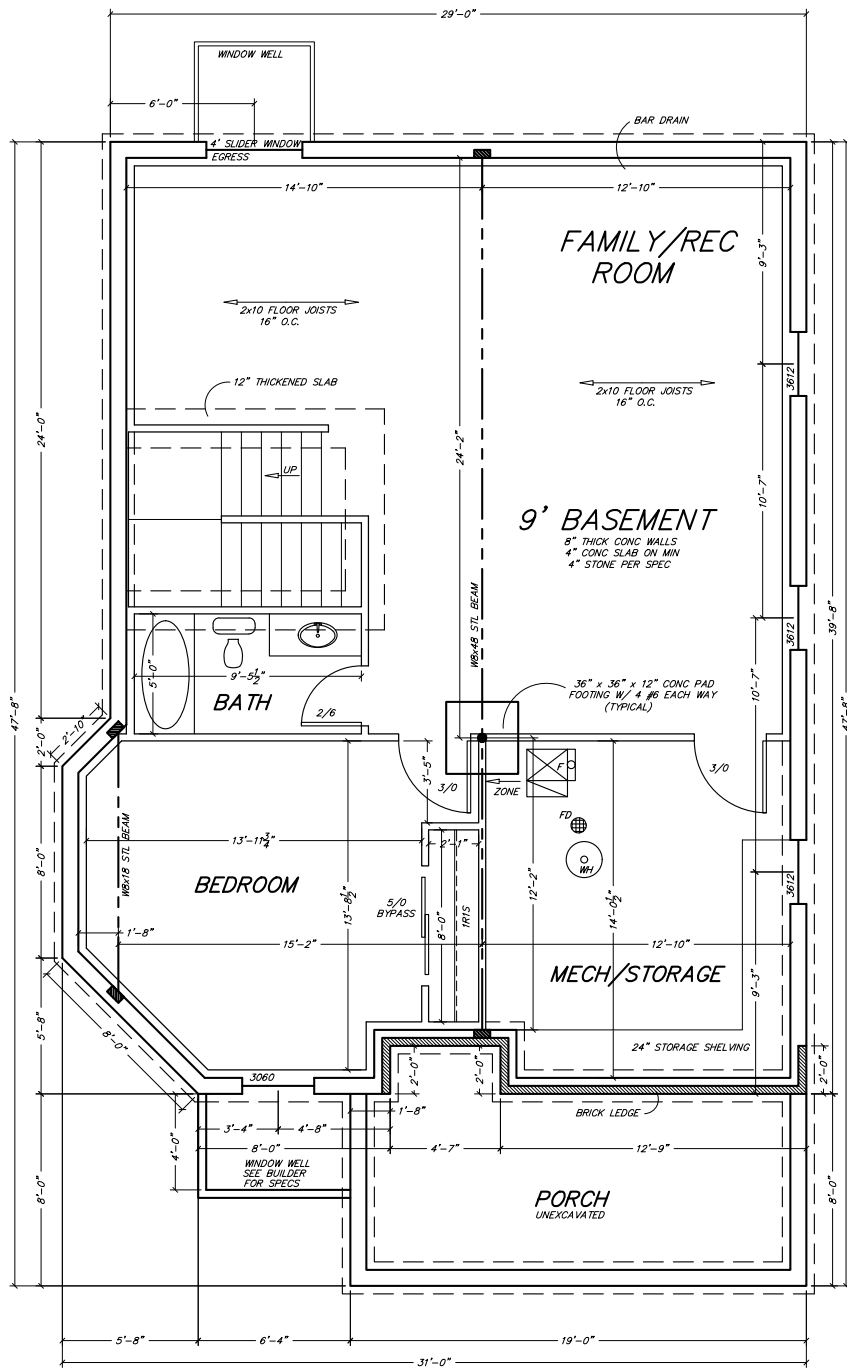


Existing Conditions | Conceptual Design



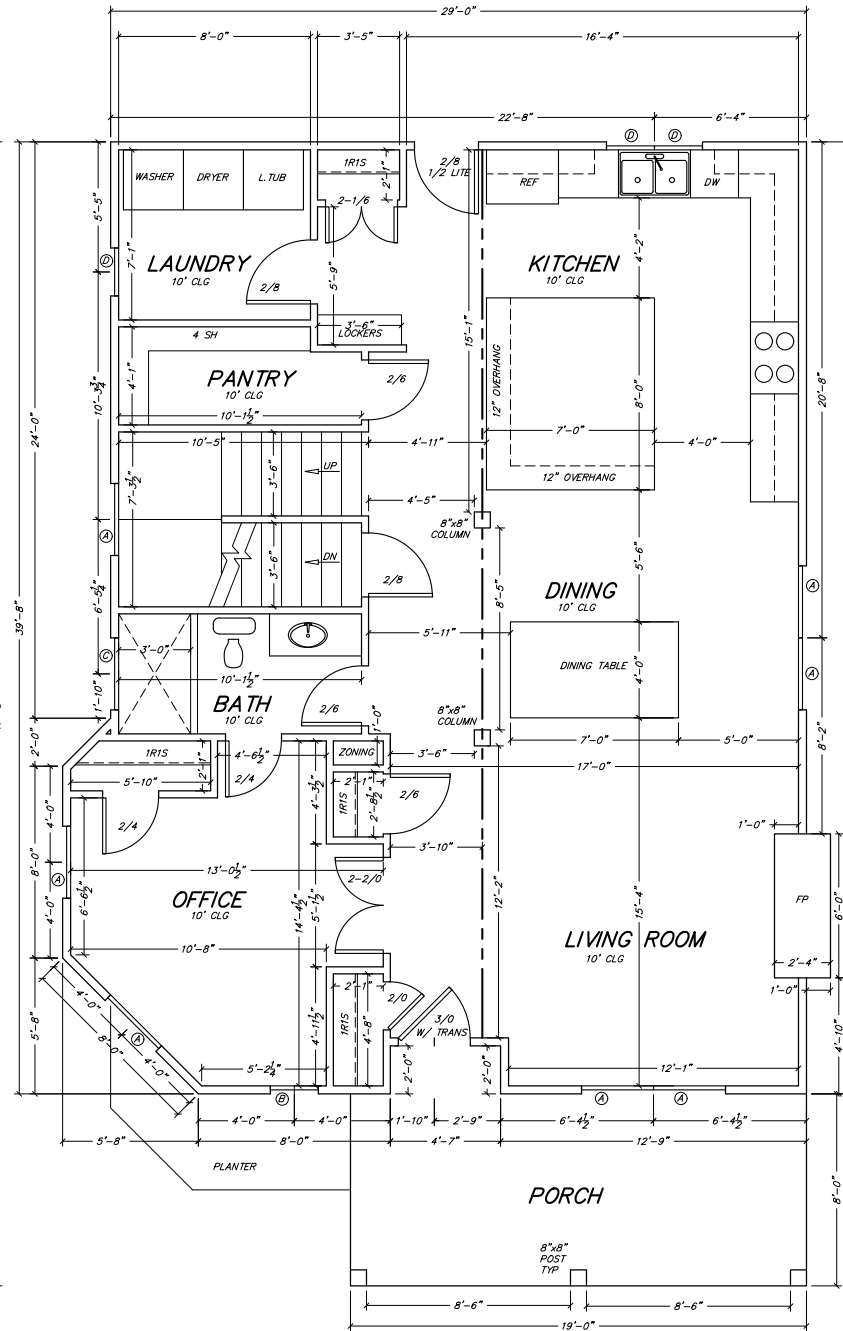


Proposed Plans | Conceptual Design



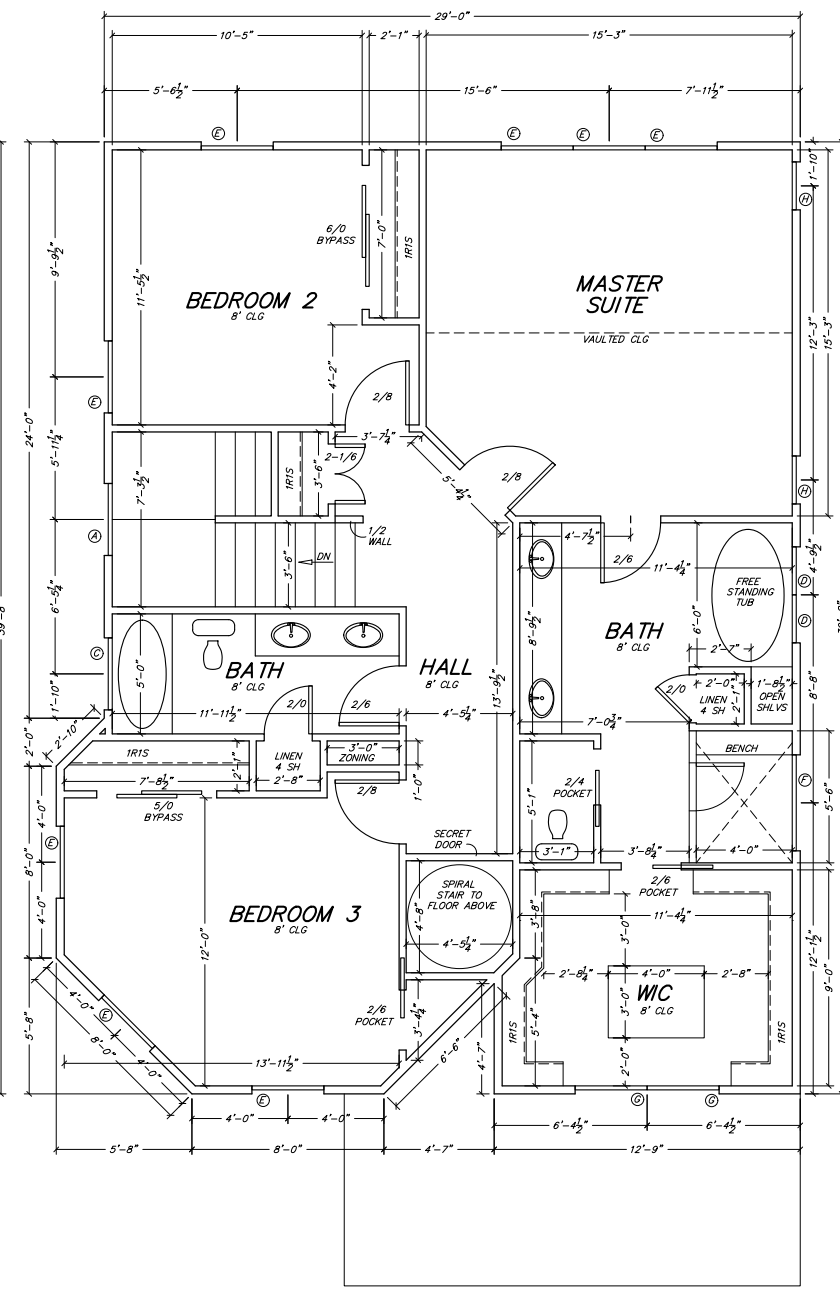
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
 BASEMENT: 1,156 SQ.FT.



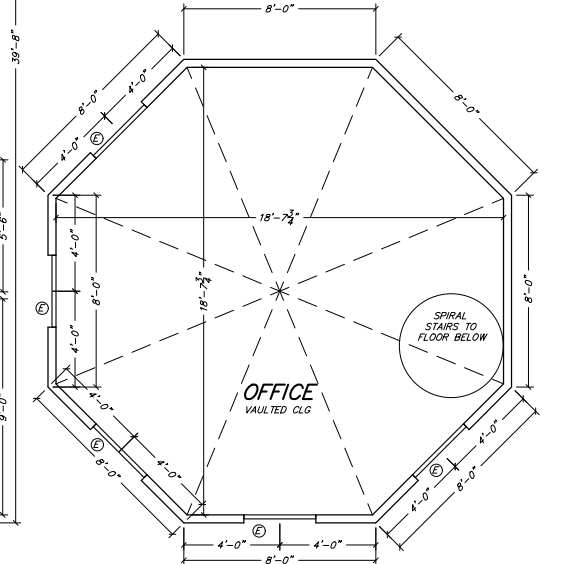
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
 FIRST FLOOR: 1,156 SQ.FT.
 FRONT PORCH: 160 SQ.FT.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
 SECOND FLOOR: 1,093 SQ.FT.



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"
 THIRD FLOOR: 309 SQ.FT.



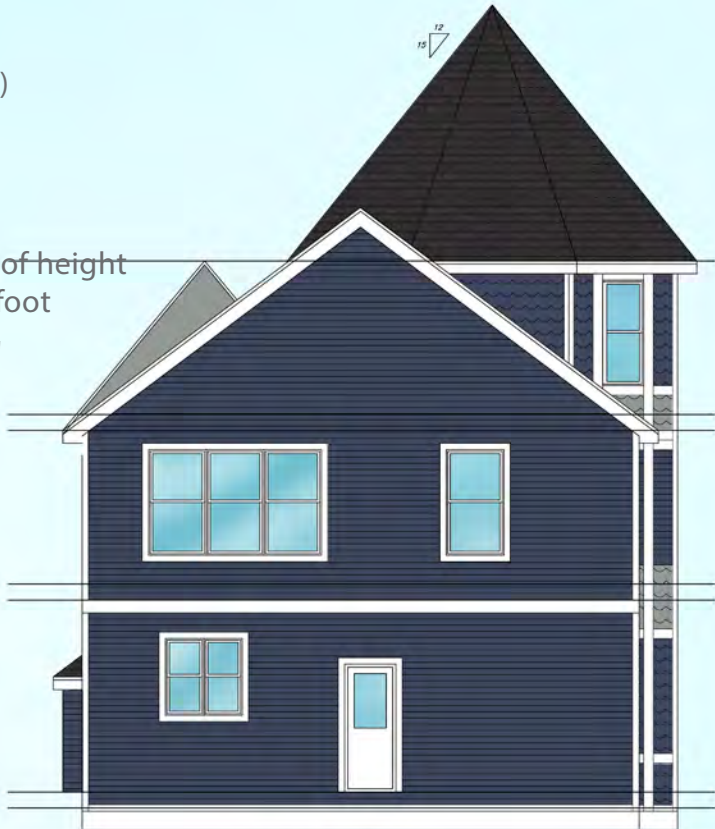
Material Palette:

- Primary Siding: Indigo Blue
- Accent Siding: Nantucket Gray
- Trim, Gutters & Soffits/Fascia: White
- Brick: Cavalry Gray
- Asphalt Roof Shingles: Black

Proposed Elevations | Conceptual Design

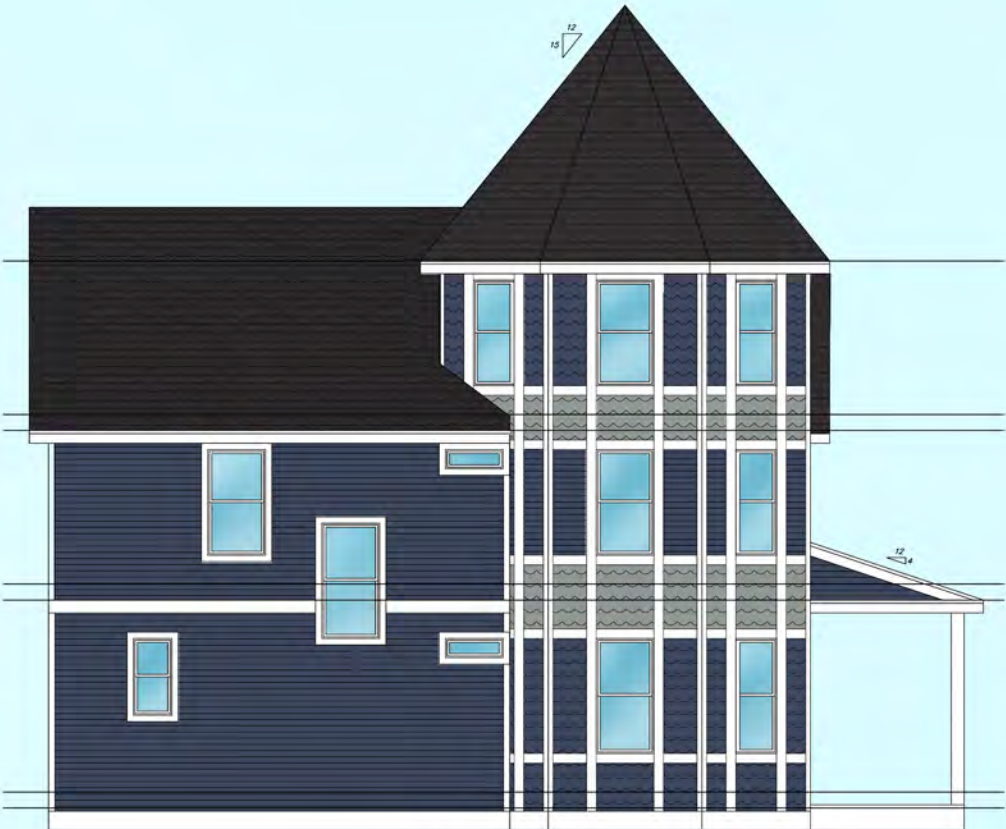
Proposed Heights:
 Height District: 1 (35' Maximum)
 -Main Residence: 32'-6"
 -Corner Turret: 42'-0"

Per 353.02, an additional 1 foot of height may be added per additional 1 foot of setback, to a maximum of 50'



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

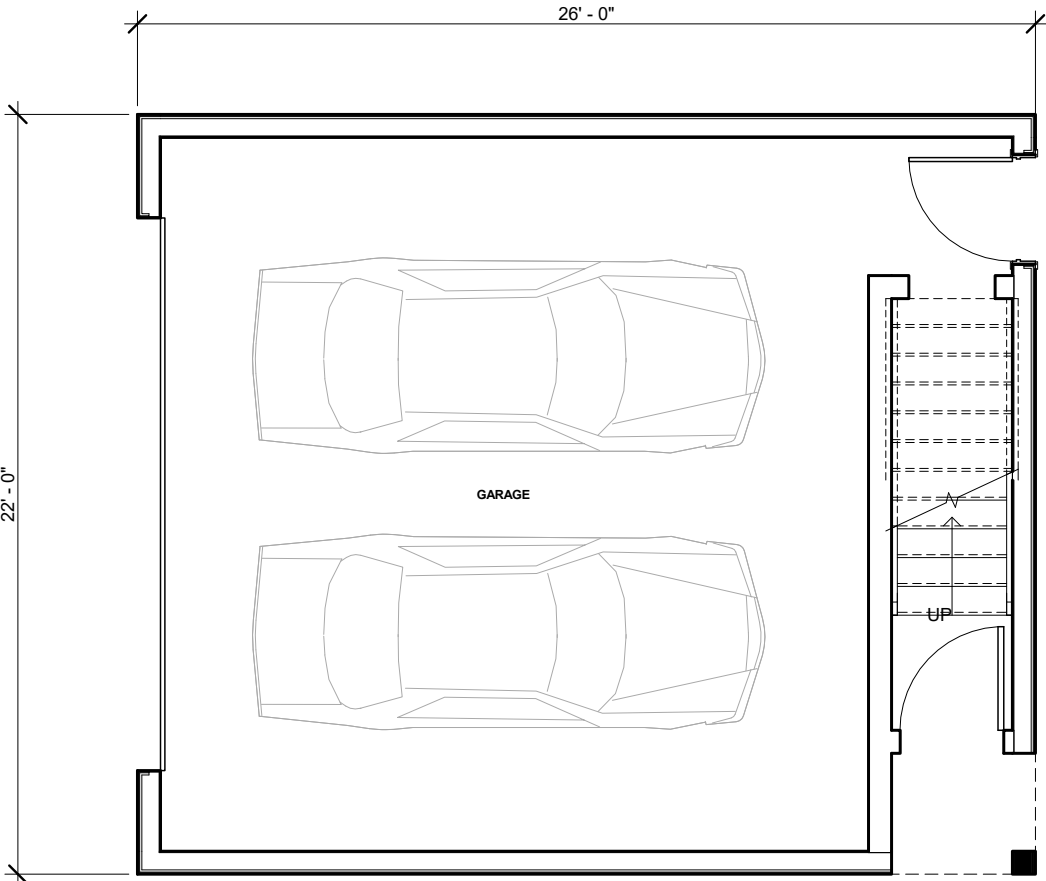


RIGHT ELEVATION

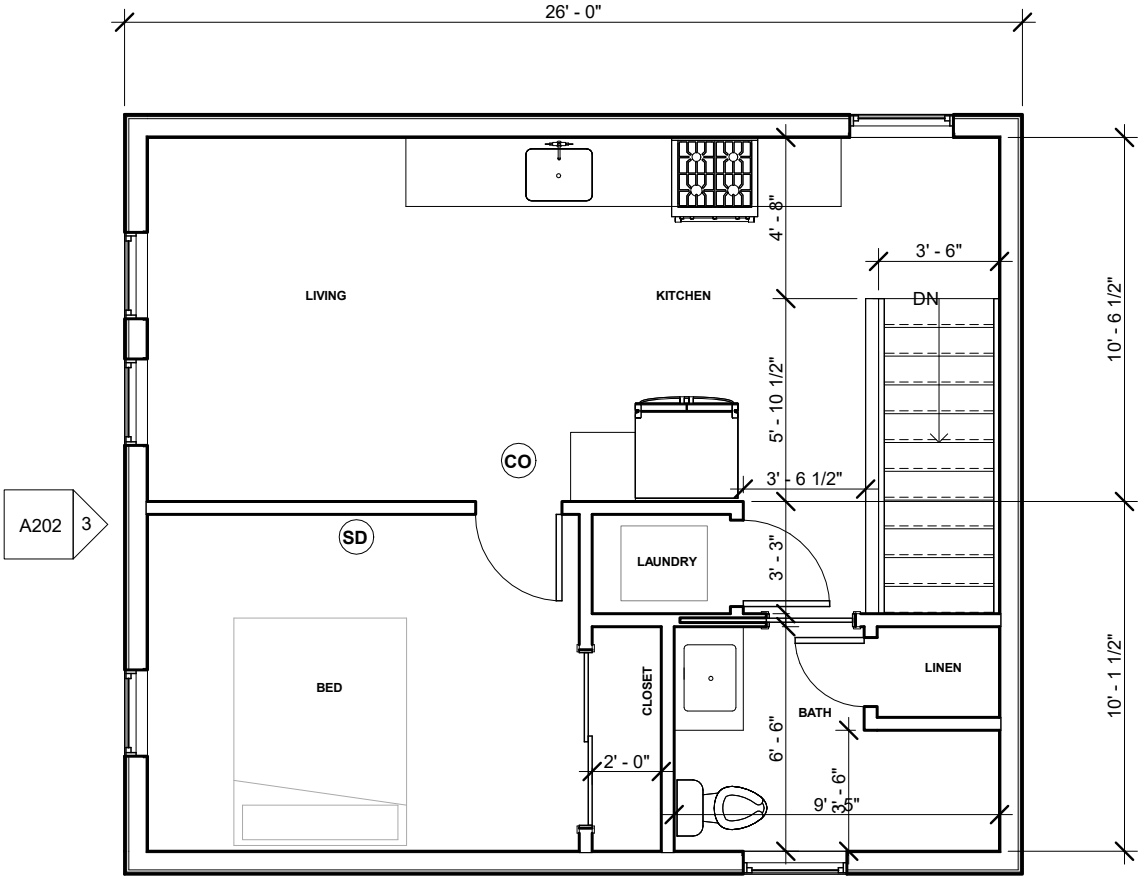
SCALE: 1/8" = 1'-0"

- Material Palette:**
- Primary Siding: Indigo Blue
 - Accent Siding: Nantucket Gray
 - Trim, Gutters & Soffits/Fascia: White
 - Brick: Cavalry Gray
 - Asphalt Roof Shingles: Black

Proposed Garage Plans | Conceptual Design

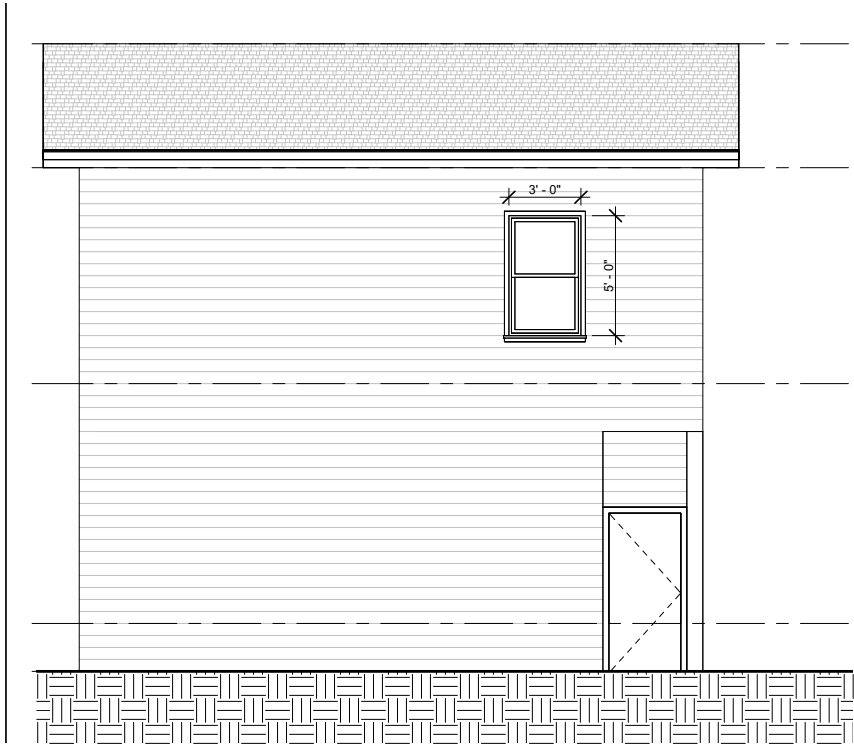


LEVEL ONE GARAGE PLAN

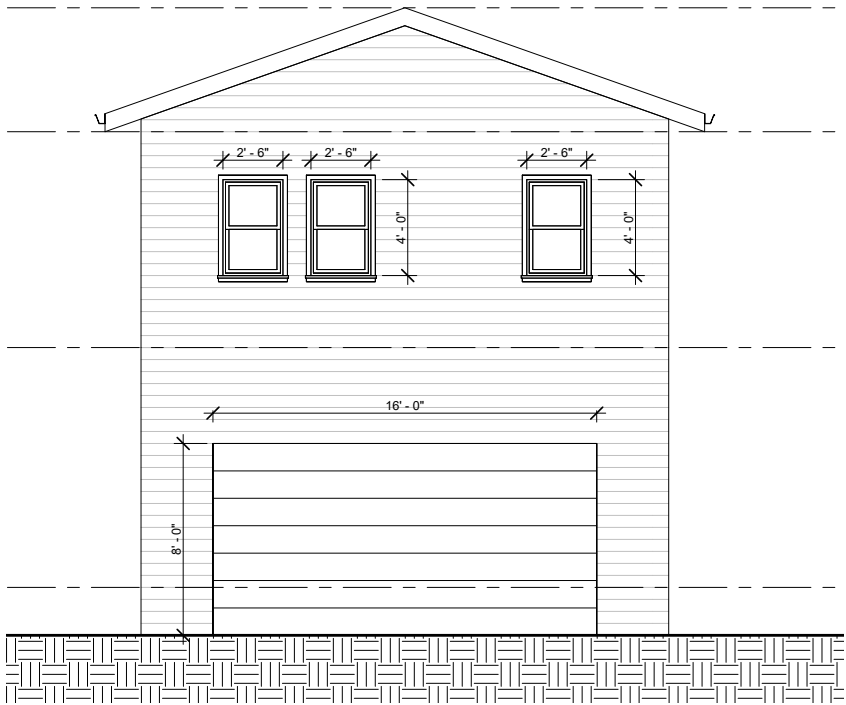


LEVEL TWO GARAGE PLAN

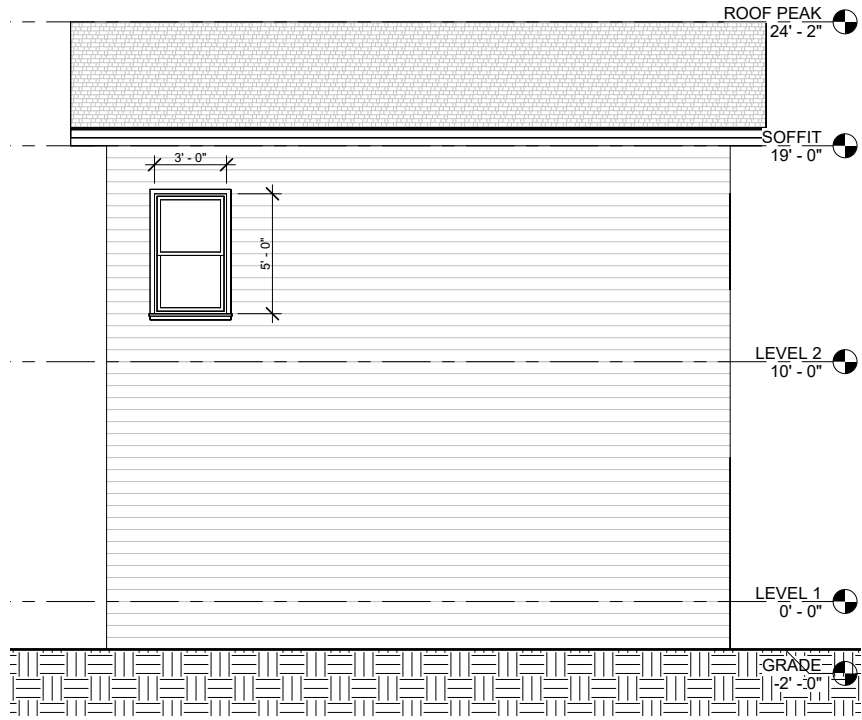
Proposed Garage Elevations | Conceptual Design



EAST GARAGE ELEVATION



SOUTH GARAGE ELEVATION



WEST GARAGE ELEVATION

NOTE: GARAGE MATERIALS TO MATCH
NEW RESIDENCE

Cleveland Landmarks Commission

Design Review



January 26, 2023

**Ohio City Historic District
Design Review Committee
(Advisory committee to the [Landmarks Commission](#))
Certificate of Appropriateness Review**

Date: 12-01-22

File Number:

Building / Project Name: 2905 Jay Ave New Construction

Property Address: 2905 Jay Ave **Parcel #:**

Property Owner: Presenters: Chris Rood

Historic Designation: Not Designated Local Landmarks District Landmark Building

Specifications of work proposed:

New Construction of single-family home - Conceptual

Recommendations of Design Review Committee:

No action taken

Notes/Comments

The turret is overriding the house (too substantial), needs scaled down. Brick portion on front - would be better continue the same materiality. Design needs balance overall – CL. Color palette is fine. Shallow pitch needed -AM. 3 different roof lines, difficult to dry when wet. Trim detailing need – ML.

Design Review Committee Record:

Alex Frondorf	<input type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Antonia Marinucci	<input type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Doug Wahl	<input type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Margaret Lann	<input type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Chris Loeser	<input type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Marika Shiori-Clark	<input type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain

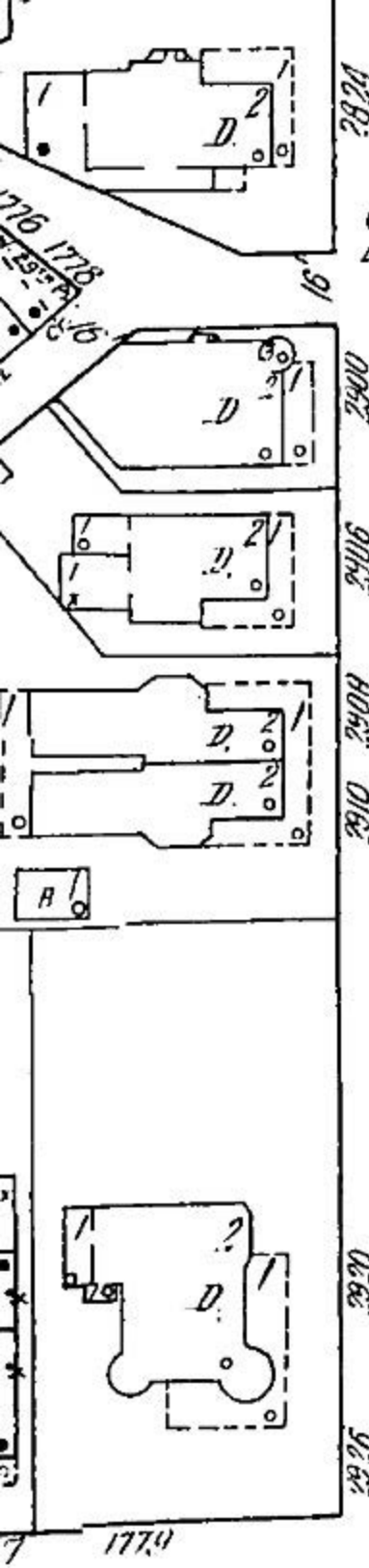
Required to present at Cleveland Landmarks Commission? Yes No **Date:** na

Cleveland Landmarks Commission

Staff Report



January 26, 2023



2872

D.H.

2902

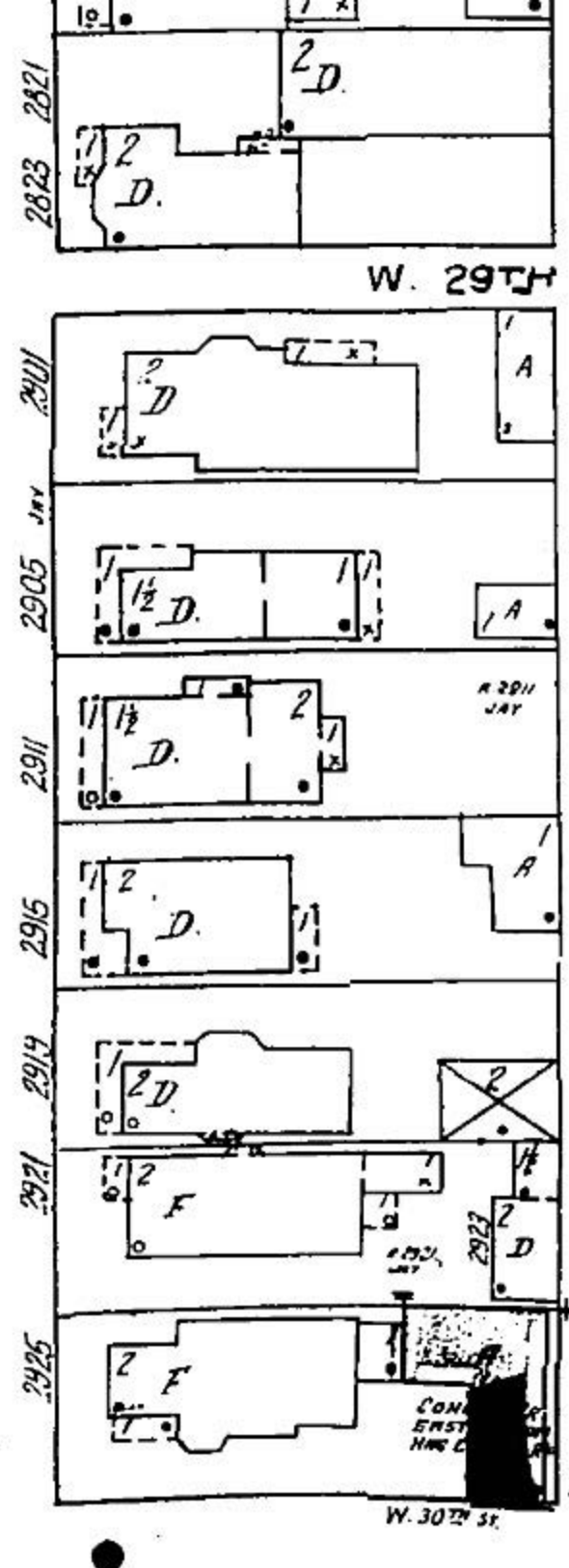
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2910

2920

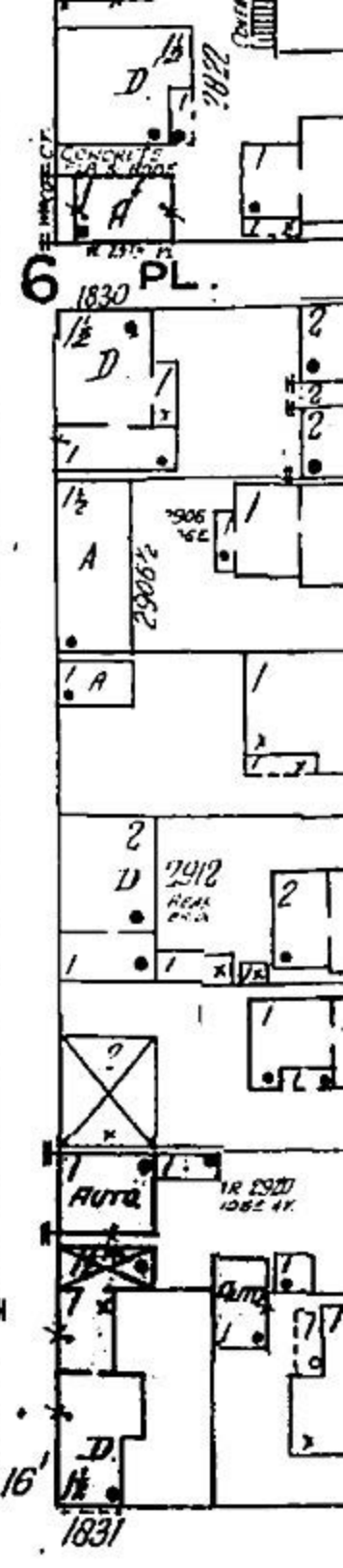
2927

6" W. PIPE
50'



W. 29TH

W. 30TH ST.



6 1830 PL.

16'

1831



Case 23-009: Newton Avenue Historic District

Gordon Crossing – East 101st Street, Woodward Avenue, and Newton Avenue

New Construction

Ward 7: Howse

Project Representatives: Jonathan McKay (Woda Cooper Companies, Inc.)

GORDON CROSSING

CLEVELAND, OHIO
 CUYAHOGA COUNTY

FAMILY HOUSING

DEVELOPER

WODA COOPER DEVELOPMENT, INC.

DEVELOPER

FRONTLINE DEVELOPMENT GROUP, LLC

ARCHITECT

PCI DESIGN GROUP, INC.

OWNER

GORDON CROSSING LIMITED PARTNERSHIP

CONTRACTOR

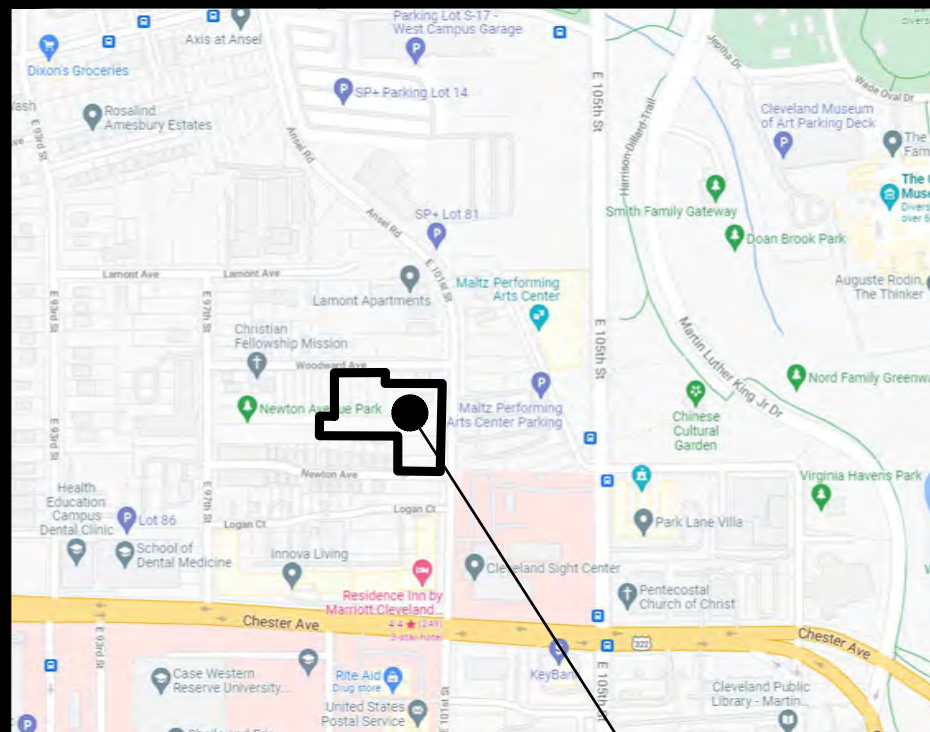
WODA CONSTRUCTION, INC.

MANAGEMENT

WODA MANAGEMENT & REAL ESTATE, LLC

LOCATION MAP

DRAWING INDEX



PROJECT ADDRESS:
 WOODWARD AVE. & EAST 101ST ST. — SITE
 CLEVELAND, OHIO 44106

BUILDING CODES:

- 2017 OHIO BUILDING CODE (OBC)
- 2017 OHIO PLUMBING CODE (OPC)
- 2017 OHIO MECHANICAL CODE (OMC)
- 2017 NATIONAL ELECTRIC CODE (NEC)
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2009 ANSI A117.1
- 2009 NATIONAL FIRE PROTECTION AGENCY (NFPA)

GROSS BUILDING AREA: 56,002 SF

TOTAL SITE AREA: 1.72 +/- ACRES

TOTAL UNITS: 46 UNITS (FAMILY HOUSING)

NOTE: SEE SHEET A1.1 FOR PROJECT DATA & SHEET A1.2 FOR AREA CALCULATIONS

A0.1	COVER SHEET
A1.1	PROJECT DATA
A1.2	BUILDING AREA CALCULATIONS
A1.3	GENERAL NOTES
A2.1	SITE CONTEXT PLAN
A2.2	SITE PLAN
A3.1	FIRST FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.3	THIRD FLOOR PLAN
A3.4	FOURTH FLOOR PLAN
A4.1	2 BEDROOM UNIT- TYPE 1
A4.2	2 BEDROOM UNIT- TYPE 2 ACCESSIBLE
A4.3	3 BEDROOM UNIT- TYPE 3
A4.4	3 BEDROOM UNIT- TYPE 4 ACCESSIBLE
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A5.3	EXTERIOR ELEVATIONS
A5.4	EXTERIOR ELEVATIONS - RENDERED
A5.5	EXTERIOR FINISHES
A5.6	EXTERIOR PERSPECTIVE
A5.7	EXTERIOR PERSPECTIVE
A5.8	AERIAL PERSPECTIVE
A5.9	AERIAL PERSPECTIVE
A6.1	TYPICAL WALL SECTION





Photo 1: Southeasterly view at the soil pile and residential debris on the north central portion of the property.



Photo 2: Northerly view at the soil pile and overhead powerlines on the central portion of the property.



Photo 3: Viewing at construction materials observed on the southern portion of the property.



Photo 4: Easterly view across the central portion of the property.



Photo 5: Northwesterly view across the east portion of the property.



Photo 6: Southerly view across the west portion of the property.



Photo 7: Viewing at the north adjoining multi-tenant residential building.



Photo 8: Viewing at the west adjoining vacant land and house.



Photo 9: Viewing at one of the south adjoining houses.

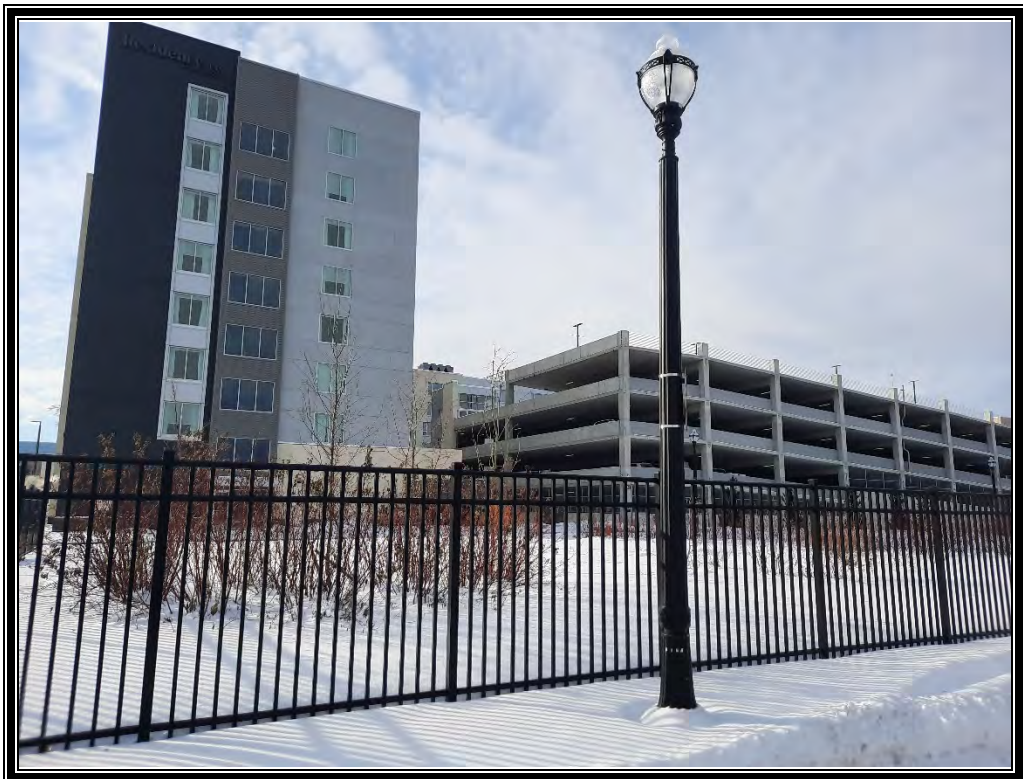


Photo 10: Viewing at the south adjoining office building and parking garage.



Photo 11: Viewing at the east adjoining Performing Arts Center.



Photo 12: Viewing at the east adjoining parking lot.

SITE DEVELOPMENT DATA

ADDRESS:	WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OH 44106
PARCEL ID:	11912058
SITE AREA:	1.72 ACRES +/-
ZONING:	
CURRENT	MF-E2
PROPOSED	MF-E2
HEIGHT DISTRICT:	
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
DENSITY:	27 UNITS/ACRE +/-
PARKING:	TOTAL PROVIDED - 42 SPACES
SETBACKS:	AS SHOWN
HEIGHT OF BUILDING:	34'-7 5/8" +/-

STATE BUILDING CODE - 2017 OBC

USE GROUP:	R-2 RESIDENTIAL (FAMILY OCCUPANCY)
CONSTRUCT. TYPE:	5A SLAB ON GRADE, WOOD FRAME

RESIDENTIAL UNIT DATA

UNIT TYPE	UNIT	NET AREA (SF)	GROSS AREA (SF)	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL UNIT	
1	2 BEDROOM ANSI TYPE B	823	877	6	8	9	8	31	
2	2 BEDROOM ANSI TYPE A - ACCESSIBLE	823	877	1	1	0	1	3	
3	3 BEDROOM ANSI TYPE B	1,101	1,167	2	3	2	3	10	
4	3 BEDROOM ANSI TYPE A - ACCESSIBLE	1,101	1,167	1	0	1	0	2	
				TOTAL	10	12	12	12	46

*NOTE: (1) 2 BEDROOM TYPE 1 UNIT IS DESIGNATED AS A SIGHT AND HEARING UNIT (SENSORY 504)

ARCHITECT OF RECORD:

PCI DESIGN GROUP, INC.
500 SOUTH FRONT STREET SUITE 975
COLUMBUS, OHIO 43215



PROJECT TYPE:

**MULTI-FAMILY
OCCUPANCY
HOUSING**

SHEET TITLE:

PROJECT DATA

DATE:

01-26-2023

DRAWN BY:

PROJECT TITLE:

GORDON CROSSING
WOODWARD AVE. & EAST 101ST ST.
CLEVELAND, OHIO 44106

SERIES:

LANDMARKS
APPLICATION

SHEET:

A1.1

BUILDING AREA CALCULATIONS

	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
GROSS SQUARE FOOTAGE OF BUILDING	14,263	13,913	13,913	13,913	56,002
COMMERCIAL SPACE CONDOMINIUM AREAS	0	0	0	0	0
COMMERCIAL AREAS AND FEE-DRIVEN SPACES	0	0	0	0	0
MARKET RATE UNIT AREA	0	0	0	0	0
LOW INCOME UNIT AREA	9,640	11,394	11,394	11,394	43,822
MANAGER'S UNIT AREA	0	0	0	0	0
COMMON AREA (PUBLIC)	1,557	244	244	244	2,289
COMMON AREA (CIRCULATION)	1,723	1,359	1,359	1,359	5,800
COMMON AREA (SOCIAL WORK/PROGRAMATIC)	172	0	0	0	172
LIMITED COMMON AREA (PRIVATE)	0	0	0	0	0
SUPPORT	590	349	349	349	1,637
TENANT STORAGE	0	0	0	0	0
MAJOR VERTICAL PENETRATIONS	556	556	556	556	2,224
STRUCTURED PARKING/GARAGE	0	0	0	0	0
BASEMENT	0	0	0	0	0
NON-LOW-INCOME FLOOR AREA	0				0
LOW INCOME FLOOR AREA					49,622
PERCENTAGE OF COMMON AREA					14.44%
NET RENTABLE SQUARE FOOTAGE					56,002
AVG. NET RENTABLE SQ-FT/LOW INCOME UNIT					1,217.44

ARCHITECT OF RECORD:

PCI DESIGN GROUP, INC.
500 SOUTH FRONT STREET SUITE 975
COLUMBUS, OHIO 43215



PROJECT TYPE:

**MULTI-FAMILY
OCCUPANCY
HOUSING**

SHEET TITLE:

**BUILDING AREA
CALCULATIONS**

DATE:

01-26-2023

DRAWN BY:

PROJECT TITLE:

GORDON CROSSING
WOODWARD AVE. & EAST 101ST ST.
CLEVELAND, OHIO 44106

SERIES:

LANDMARKS
APPLICATION

SHEET:

A1.2

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. ALL WORK SHALL CONFORM WITH GOVERNING CODES.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES OCCUR.
4. ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. ALL DRAWINGS ARE SCHEMATIC AND NOT INTENDED FOR SCALING, QUANTITIES OR DETAILED CODE COMPLIANCE.
6. EXTERIOR BUILDING DIMENSIONS ARE TO FACE OF SHEATHING.
7. INTERIOR BUILDING AND UNIT DIMENSIONS ARE TO FACE OF STUD.
8. REFER TO A11 SERIES DWGS FOR FIRE-RATED ASSEMBLIES AND F.E.C. LOCATIONS.
9. REFER TO A2 SERIES FOR ENLARGED UNIT PLANS.
10. REFER TO A6 SERIES DWGS FOR CEILING HEIGHTS.
11. REFER TO DWG SHEET A10.1 FOR DOOR AND HARDWARE INFORMATION.
12. REFER TO DWG SHEET A10.2 FOR FINISH SCHEDULE.
13. REFER TO W/EP DWGS FOR RELATED INFORMATION.
14. ALL INTERIOR DOOR THRESHOLDS AND FLOOR LEVEL CHANGES TO BE 1/4" MAX. BEVELED OR FLUSH.

CODED NOTES

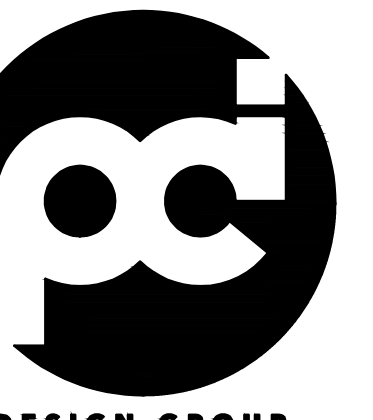
1. FOR SITE LIGHTING, REFER TO SHEET ES.01
2. ACCESSIBLE PARKING SPACES, REFERENCE CIVIL DRAWINGS, PARKING SPACES AND LOADING AREA TO BE REINFORCED CONCRETE
3. CONCRETE ACCESSIBLE RAMP, REFERENCE CIVIL DRAWINGS.
4. PAVED PARKING LOT AND DRIVEWAYS.
5. CONCRETE CURBS, REFERENCE CIVIL DRAWINGS
6. NEW SIDEWALKS TO CREATE ACCESSIBLE ROUTE TO NOT EXCEED 5% SLOPE AND 2% CROSS SLOPE, REFER TO CIVIL DRAWINGS FOR EXTENT AND LOCATION
7. TRASH DUMPSTER, REFERENCE DETAIL INDICATED
8. PROVIDE ANY NECESSARY ACCESSIBLE RAMPS ALONG ACCESSIBLE ROUTE NOT TO EXCEED 1:12 SLOPE
9. RESIDENTIAL ILLUMINATED GROUND SIGNAGE PER ZONING REQUIREMENTS, REFER TO SIGN VENDOR SHOP DRAWINGS AND DETAIL A ON SHEET AS0.2
10. CONCRETE ENTRY SLAB, REFER TO STRUCTURAL
11. ENTRY CANOPY ABOVE
12. REFER TO LANDSCAPE PLANS FOR ALL TREES, SHRUBS, ETC.
13. ACCESSIBLE GRILLE AND PICNIC TABLE
14. DASHED LINE INDICATES LOCATION OF RATED WALL
15. OUTSIDE RECREATIONAL AREA FENCE, REFER TO DETAIL
16. PRE-MANUFACTURED MAINTENANCE SHED ON CONCRETE SLAB, REFER TO DETAIL VAS0.2 FOR SLAB CONSTRUCTION. PROVIDE SLOPED CONCRETE RAMP FROM EDGE OF SLAB TO NEW SIDEWALK AS NECESSARY
17. LINE OF EXISTING PUBLIC RIGHT-OF-WAY, REFER TO CIVIL DRAWINGS
18. SITE PROPERTY LINE, REFER TO CIVIL DRAWINGS
19. ELECTRICAL TRANSFORMER, VERIFY LOCATION PRIOR TO INSTALLATION, REFER TO ELECTRICAL DRAWINGS
20. EXISTING WALK TO REMAIN
21. EXISTING UTILITY EASEMENT, REFER TO CIVIL DRAWINGS

LEGEND

- BUILDING OUTLINE
- PROPERTY LINE
- RATED WALL

PRELIMINARY

THIS DRAWING IS FOR INFORMATION ONLY NOT FOR BIDDING OR CONSTRUCTION



DESIGN GROUP
500 S. FRONT STREET SUITE 975
COLUMBUS, OHIO 43215
PHONE: 614-396-3265
FAX: 614-396-3266

GORDON CROSSING
WOODWARD AVE. &
EAST 101ST ST.
CLEVELAND, OH 44106

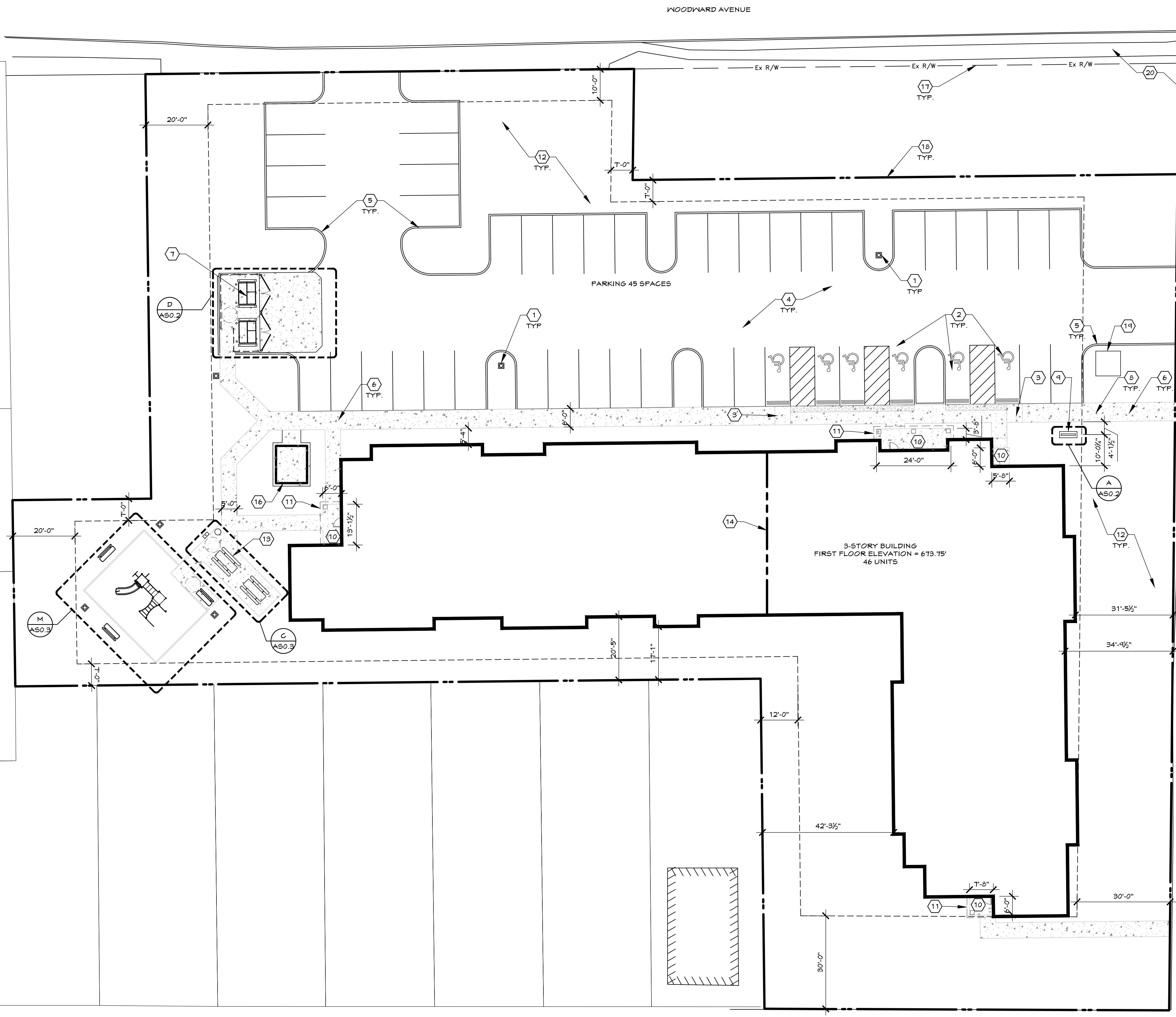
SITE PLAN

ISSUANCE

80% CONST. REVIEW 10/11/2022
OHFA 80% CONST. REVIEW 09/23/2022
SHEET NO.

AS0.1

JOB NUMBER: WOD267



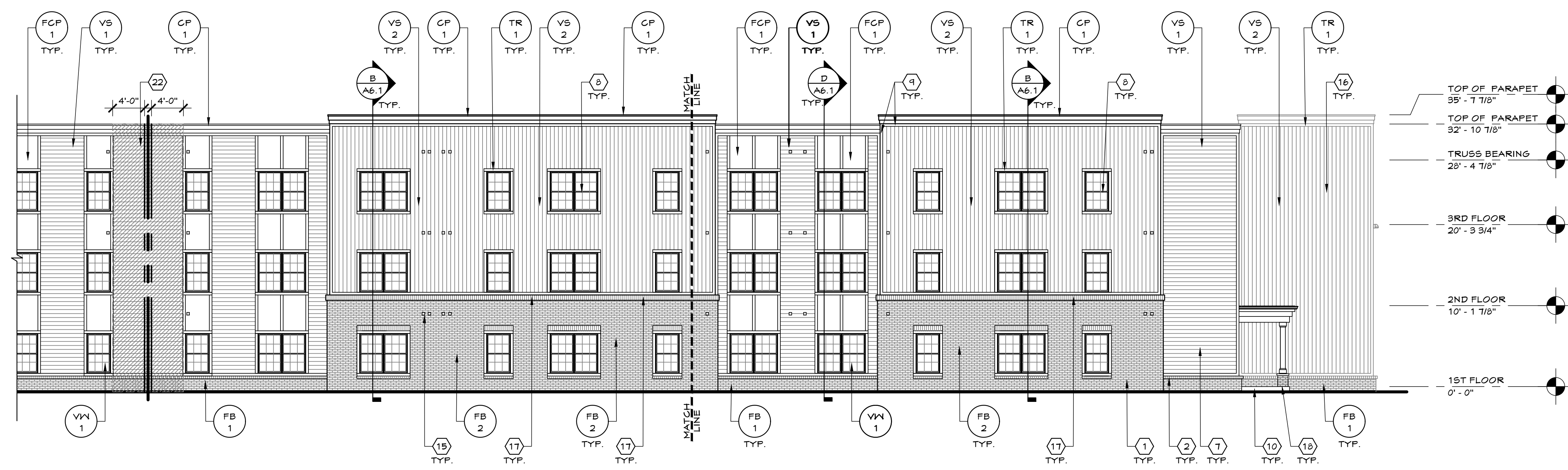
EAST 101ST STREET



SITE PLAN



C WEST ELEVATION



B SOUTH ELEVATION



A SOUTH ELEVATION

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
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- INTERIOR BUILDING AND UNIT DIMENSIONS ARE TO FACE OF STUD.
- REFER TO A11 SERIES DWGS FOR FIRE-RATED ASSEMBLIES AND F.E.C. LOCATIONS.
- REFER TO A2 SERIES FOR ENLARGED UNIT PLANS.
- REFER TO A6 SERIES DWGS FOR CEILING HEIGHTS.
- REFER TO DWG SHEET A10.1 FOR DOOR AND HARDWARE INFORMATION.
- REFER TO DWG SHEET A10.2 FOR FINISH SCHEDULE.
- REFER TO WEIP DWGS FOR RELATED INFORMATION.
- ALL INTERIOR DOOR THRESHOLDS AND FLOOR LEVEL CHANGES TO BE 1/4" MAX. BEVELED OR FLUSH.

CODED NOTES

- MODULAR FACE BRICK
- BRICK ROWLOCK COURSE
- PRE-FINISHED FIBER CEMENT PANEL
- PRE-FINISHED FIBER CEMENT TRIM
- 12" x 6" PRE-FINISHED ALUMINUM SCUPPER, REFER TO DETAIL U/A1.2
- OVERFLOW SCUPPER, REFER TO DETAIL S/A1.2
- HORIZONTAL DUTCH LAP VINYL SIDING
- ENERGY STAR-RATED VINYL WINDOW; REFER TO WINDOW SCHEDULE.
- VINYL TRIM
- REINFORCED CONCRETE SLAB
- ENERGY STAR RATED DOOR; REFER TO DOOR SCHEDULE
- FORCH CANOPY
- HIGH-VISIBILITY ADDRESS NUMBERS AT ENTRY
- PRE-FINISHED ALUMINUM DOWNSPOUT, PROVIDE BEST CONNECTION ABOVE GRADE AND TIE INTO PVC BOOT. REFER TO CIVIL DRAWINGS.
- PRE-FINISHED WALL LOUVER; REFER TO MECHANICAL DRAWINGS
- VERTICAL VINYL SIDING
- BRICK SOLDIER COURSE
- COLUMN WITH BASE
- FREEZE-PROOF LOCKING HOSE BIB; REFER TO PLUMBING DRAWINGS
- EXTERIOR WALL MOUNTED LIGHTING FIXTURE; SEE ELECTRICAL DRAWINGS
- EMERGENCY LIGHTING; REFER TO ELECTRICAL DRAWINGS
- HATCHED AREA INDICATES LOCATION OF 4'-0" FIRE RETARDANT TREATED EXTERIOR SHEATHING AT FIRE WALL
- METAL COPING
- NOT USED
- FIBER CEMENT TRIM AND CORNICE
- EXTERIOR SIGNAGE
- ELEVATOR SHAFT

SYMBOLS

REFER TO OWNER SELECTION SCHEDULE ON SHEET A10.2 FOR ADDITIONAL INFORMATION

CP #	ROOF COPING	INT #	WOOD TRIM
VS #	VINYL SIDING	TR #	TRIM
VSP #	SOFFIT	D #	DOORS
DS #	DOWNSPOUT/ GUTTER	FB #	FACE BRICK
AF #	FASCIA	VW #	VINYL WINDOWS
FCP #	FIBER CEMENT PANEL	FCC #	PRECAST CONC. CAP
		T	INDICATES TEMPERED GLASS

PRELIMINARY
THIS DRAWING IS FOR INFORMATION ONLY NOT FOR BIDDING OR CONSTRUCTION

DESIGN GROUP
500 S. FRONT STREET SUITE 975
COLUMBUS, OHIO 43215
PHONE: 614-396-3265
FAX: 614-396-3266

GORDON CROSSING
WOODWARD AVE. &
EAST 101ST ST.
CLEVELAND, OH 44106

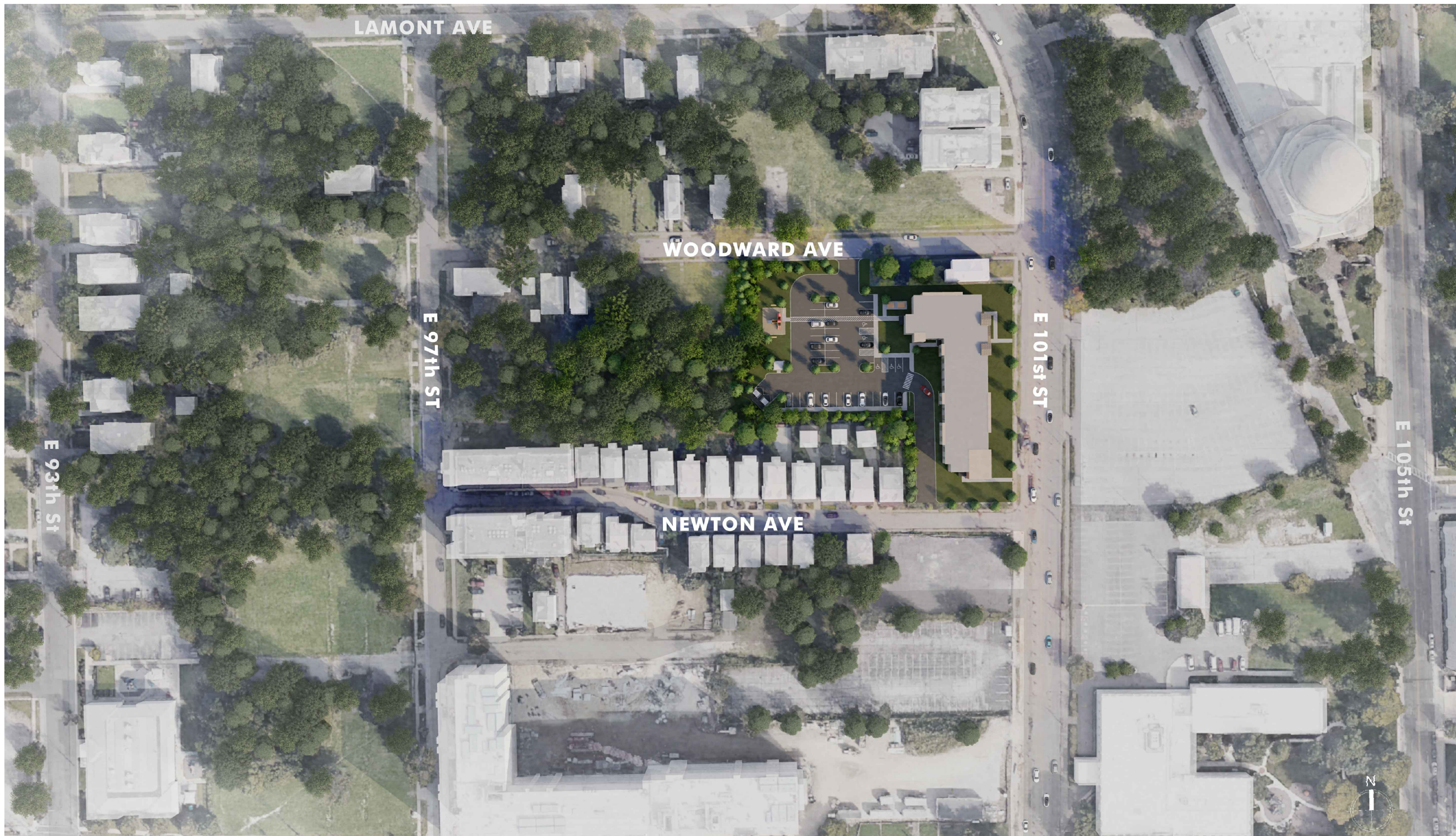
EXTERIOR ELEVATIONS

ISSUANCE

80% CONST. REVIEW 10/11/2022
OHFA 80% CONST. REVIEW 09/23/2022
SHEET NO.



A4.1



SITE CONTEXT PLAN

ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

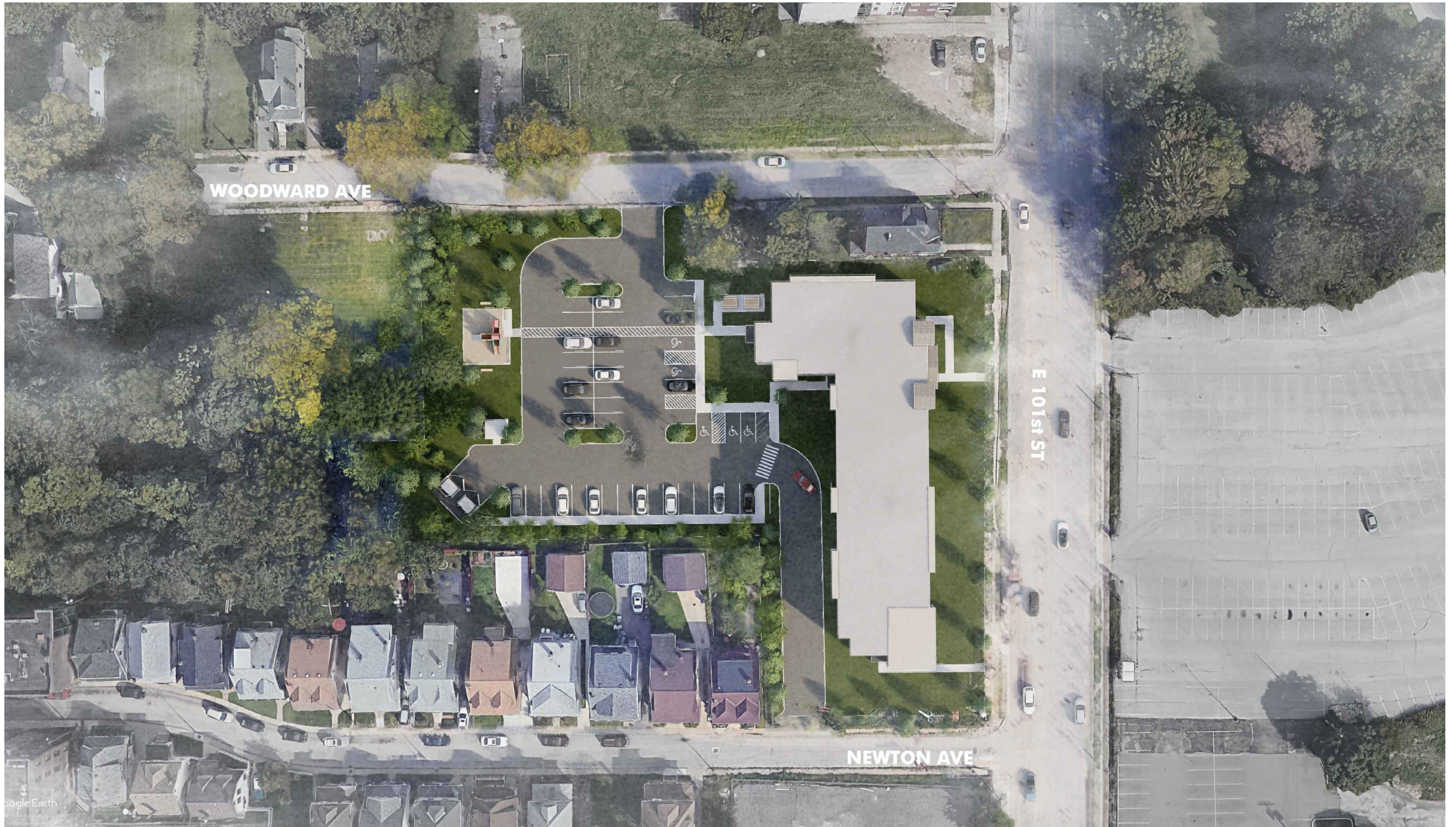
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SITE CONTEXT PLAN

DATE:
01-26-2023
 DRAWN BY:

PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

SERIES:
**LANDMARKS
 APPLICATION**

SHEET:
A2.1



SITE PLAN

ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

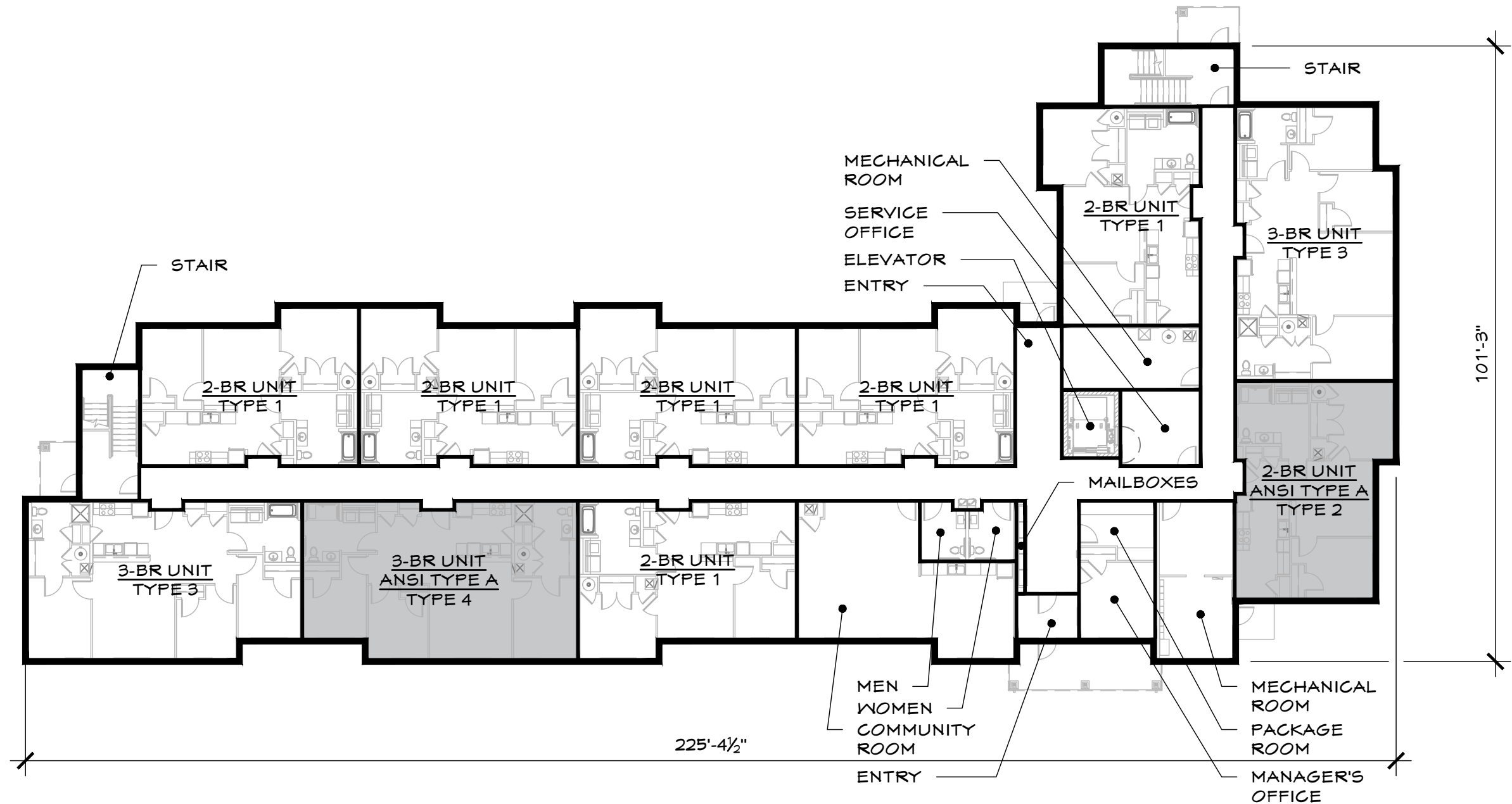
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SITE PLAN

DATE:
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 DRAWN BY:

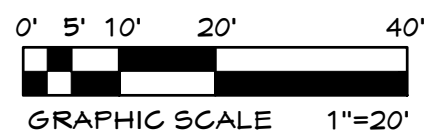
PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

SERIES:
**LANDMARKS
 APPLICATION**

SHEET:
A2.2



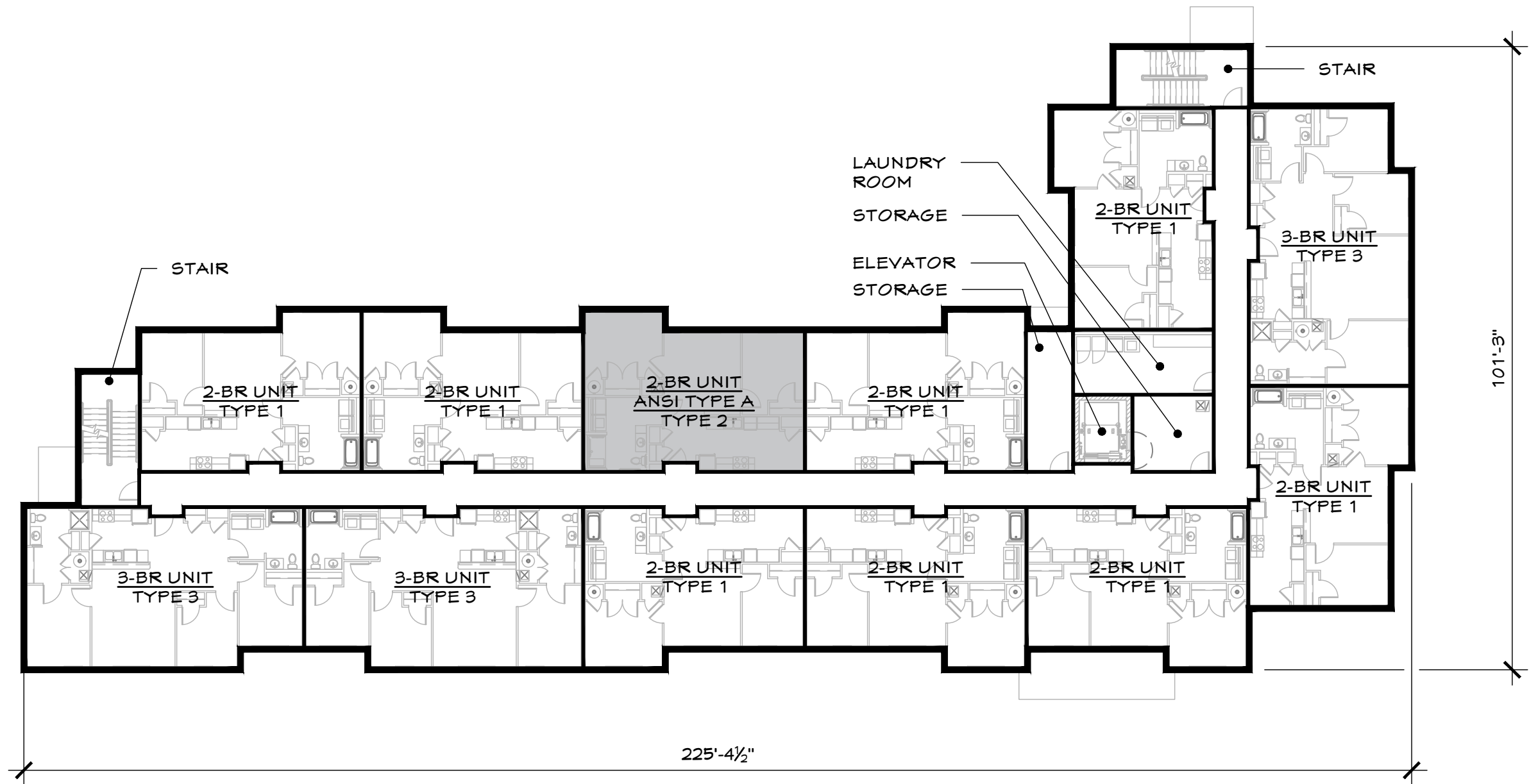
SEE SHEET A1.3 FOR
"BUILDING WIDE - TYPICAL
NOTES".



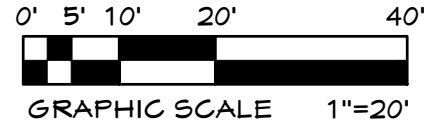
FIRST FLOOR PLAN

GROSS SF = 14,263 SF

<p>ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215</p>		<p>PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING</p>	<p>SHEET TITLE: FIRST FLOOR PLAN</p>	<p>DATE: 01-26-2023 DRAWN BY:</p>	<p>PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106</p>	<p>SERIES: LANDMARKS APPLICATION</p>	<p>SHEET: A3.1</p>
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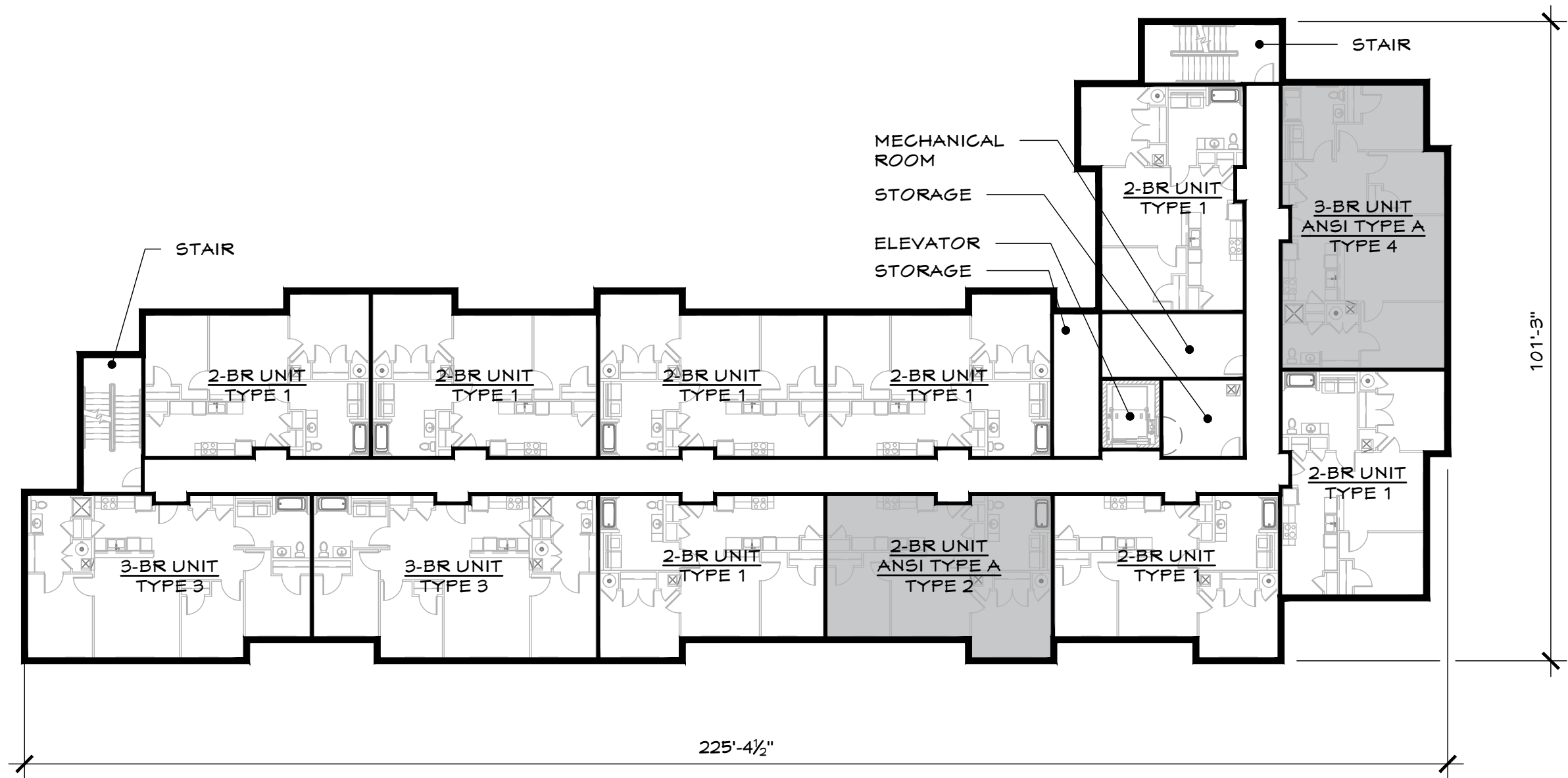
SEE SHEET A1.3 FOR
"BUILDING WIDE - TYPICAL
NOTES".



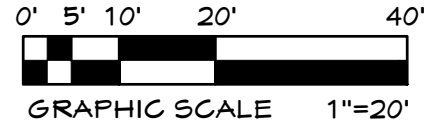
SECOND FLOOR PLAN

GROSS SF = 13,913 SF

<p>ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215</p>		<p>PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING</p>	<p>SHEET TITLE: SECOND FLOOR PLAN</p>	<p>DATE: 01-26-2023 DRAWN BY:</p>	<p>PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106</p>	<p>SERIES: LANDMARKS APPLICATION</p>	<p>SHEET: A3.2</p>
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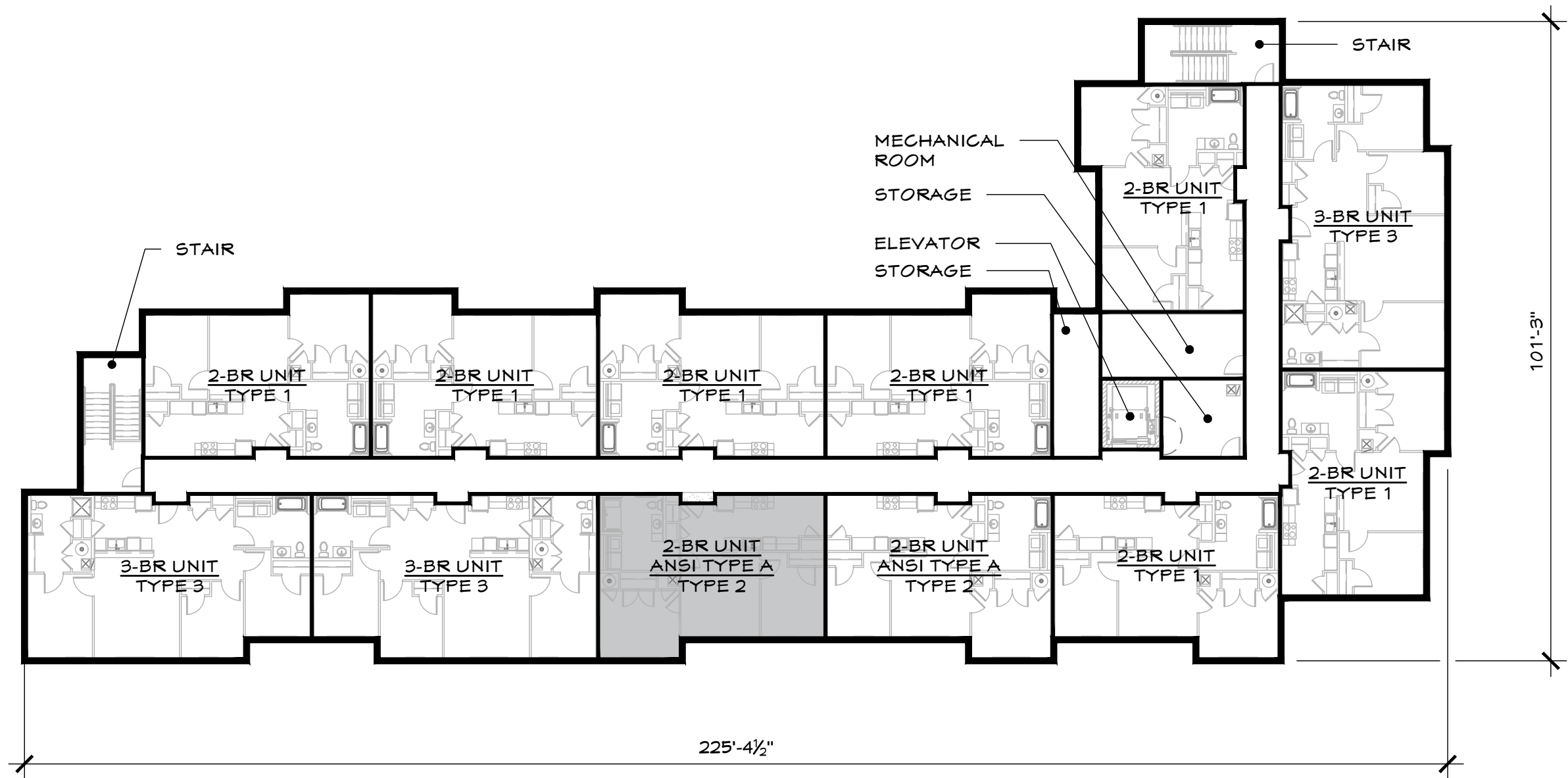
SEE SHEET A1.3 FOR
"BUILDING WIDE - TYPICAL
NOTES".



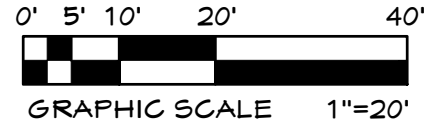
THIRD FLOOR PLAN

GROSS SF = 13,913 SF

<p>ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215</p>		<p>PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING</p>	<p>SHEET TITLE: THIRD FLOOR PLAN</p>	<p>DATE: 01-26-2023</p> <p>DRAWN BY:</p>	<p>PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106</p>	<p>SERIES: LANDMARKS APPLICATION</p>	<p>SHEET: A3.3</p>
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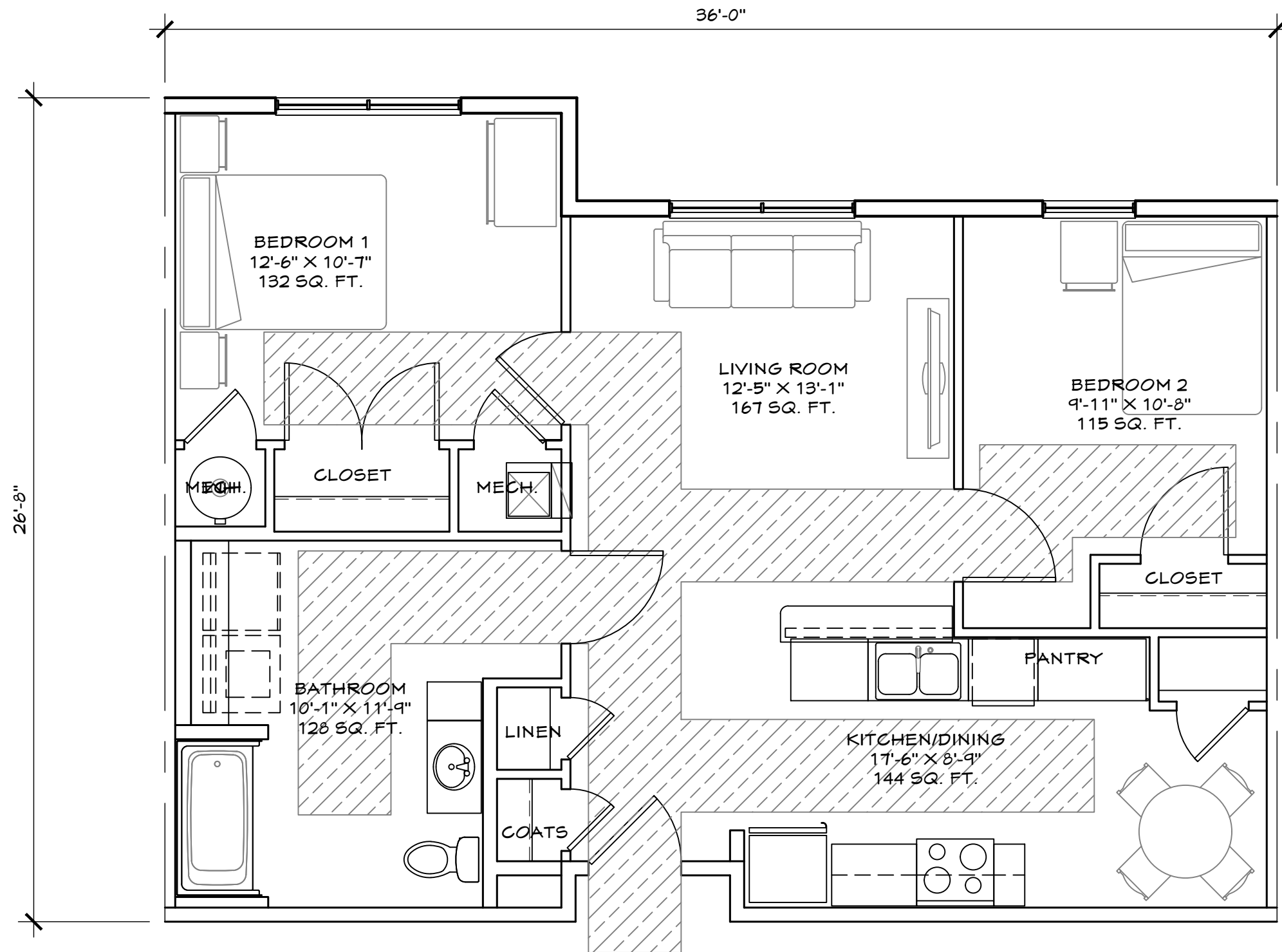
SEE SHEET A1.3 FOR
"BUILDING WIDE - TYPICAL
NOTES".



FOURTH FLOOR PLAN

GROSS SF = 13,913 SF

<p>ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215</p>		<p>PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING</p>	<p>SHEET TITLE: FOURTH FLOOR PLAN</p>	<p>DATE: 01-26-2023 DRAWN BY:</p>	<p>PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106</p>	<p>SERIES: LANDMARKS APPLICATION</p>	<p>SHEET: A3.4</p>
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ACCESSIBLE ROUTE

SEE SHEET A1.3 FOR "UNIT AMENITIES - TYPICAL NOTES" AND "ACCESSIBLE DESIGN" AND "UNIVERSAL DESIGN TYPICAL NOTES."

0' 1' 2' 4' 8'

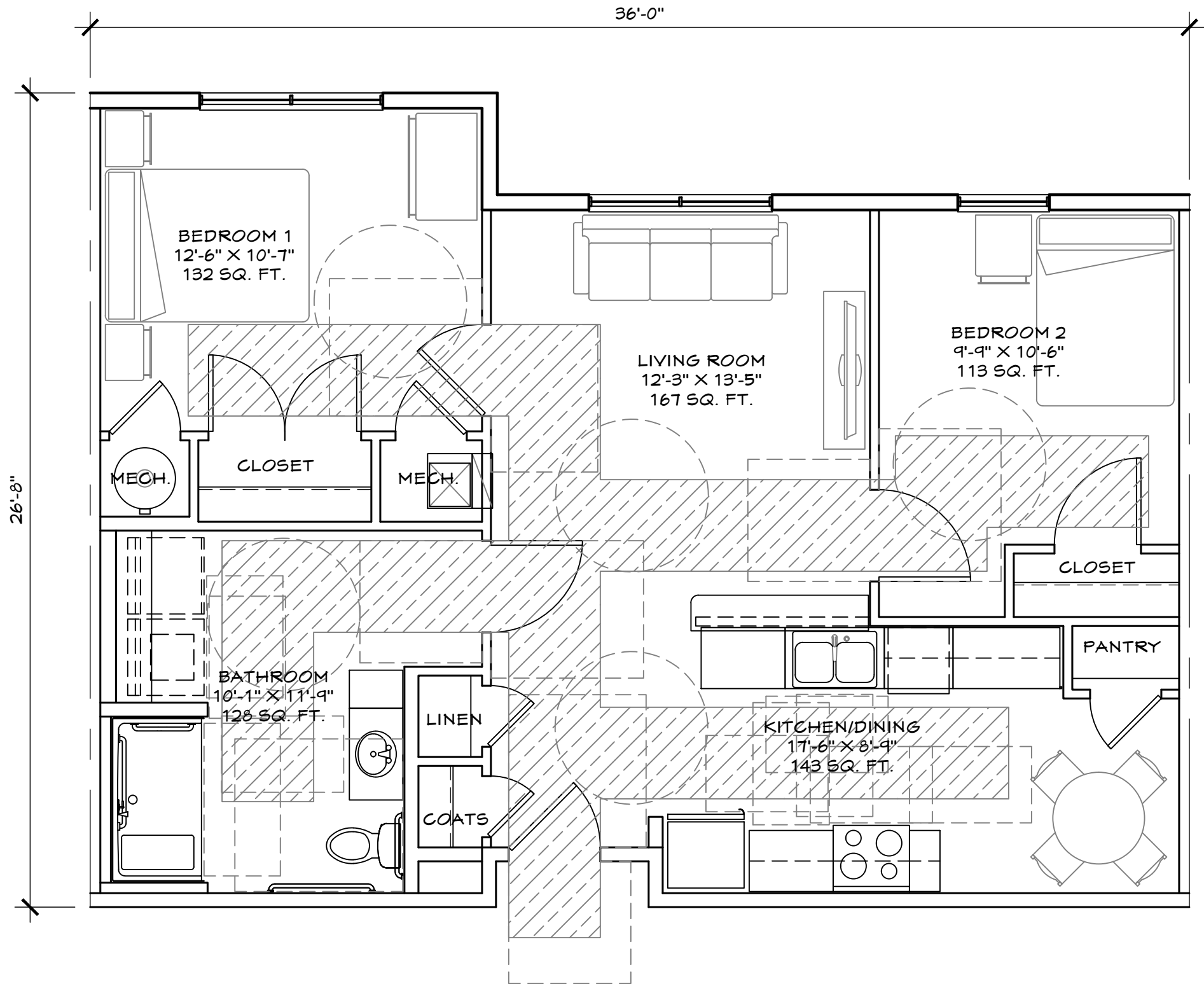


GRAPHIC SCALE: 1/4"=1'-0"

A FLOOR PLAN

GROSS SQUARE FOOTAGE = 877 SF
NET SQUARE FOOTAGE = 823 SF

<p>ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215</p>		<p>PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING</p>	<p>SHEET TITLE: 2 BEDRM. UNIT TYPE 1 ANSI TYPE B</p>	<p>DATE: 01-26-2023 DRAWN BY:</p>	<p>PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106</p>	<p>SERIES: LANDMARKS APPLICATION</p>	<p>SHEET: A4.1</p>
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ACCESSIBLE ROUTE

SEE SHEET A1.3 FOR "UNIT AMENITIES - TYPICAL NOTES" AND "ACCESSIBLE DESIGN" AND "UNIVERSAL DESIGN TYPICAL NOTES."

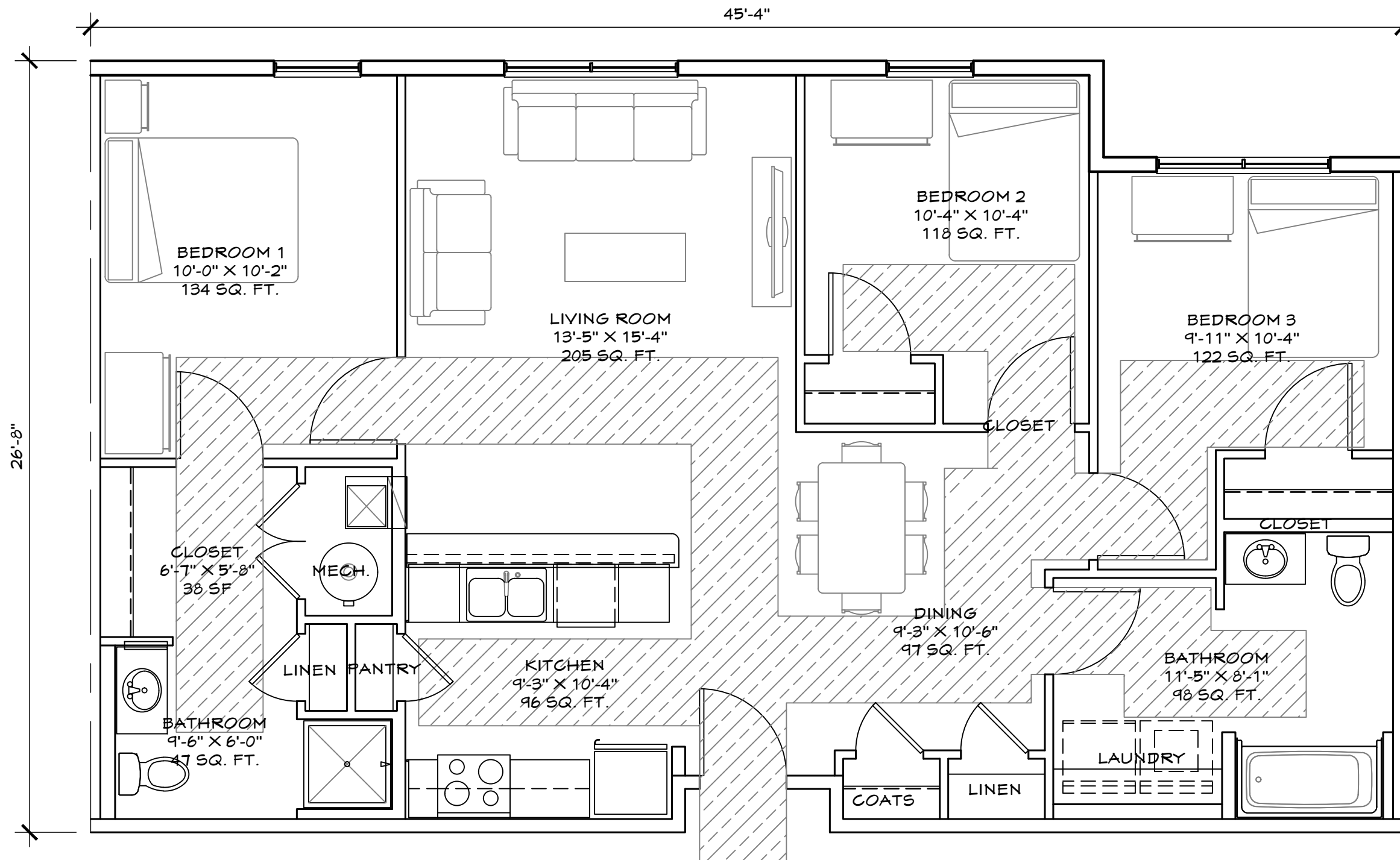


GRAPHIC SCALE: 1/4"=1'-0"

A FLOOR PLAN

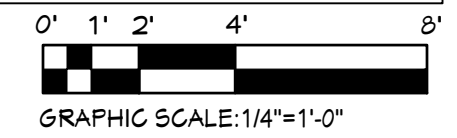
GROSS SQUARE FOOTAGE = 877 SF
NET SQUARE FOOTAGE = 823 SF






 ACCESSIBLE ROUTE

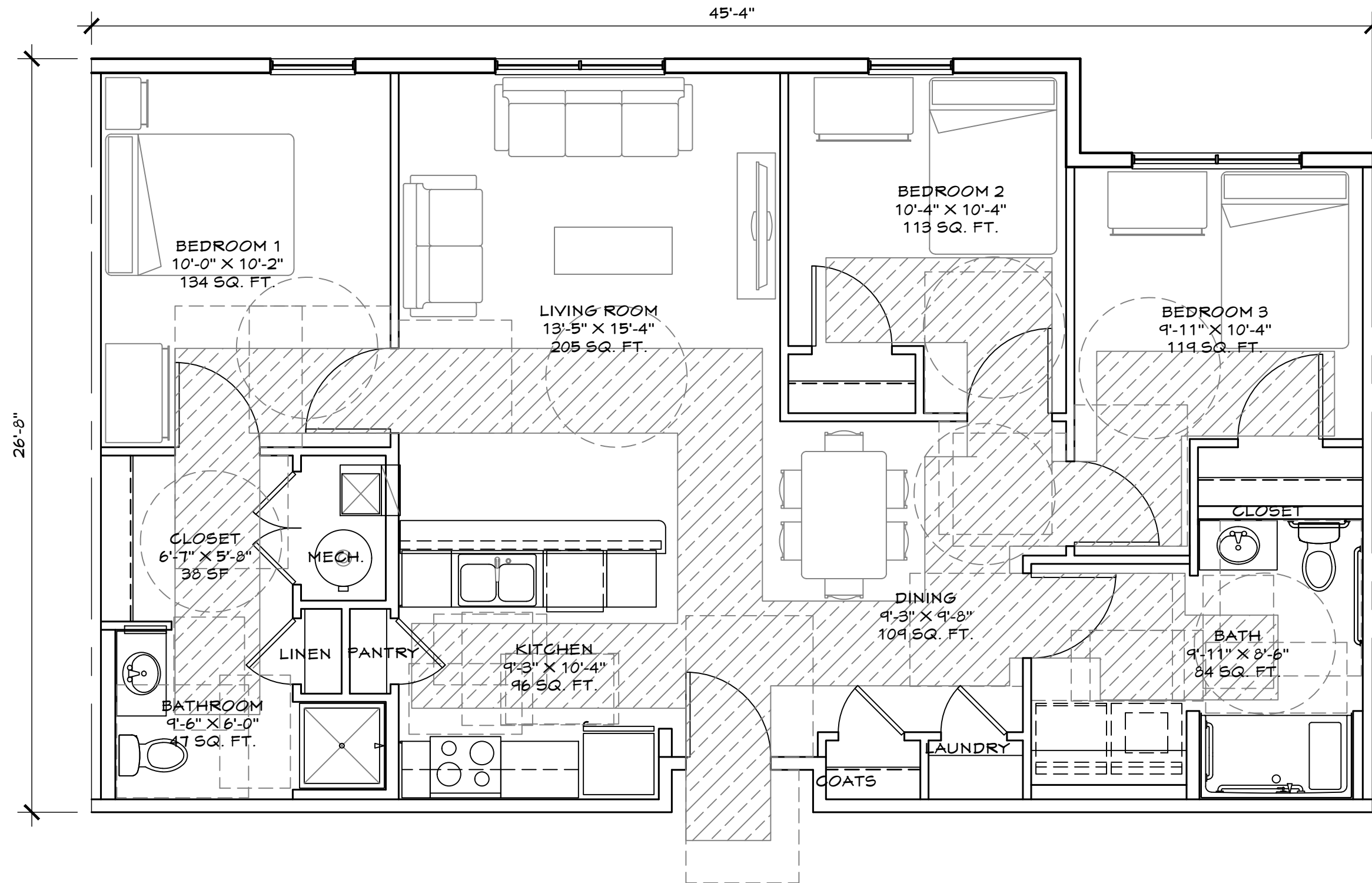
SEE SHEET A1.3 FOR "UNIT AMENITIES - TYPICAL NOTES" AND "ACCESSIBLE DESIGN" AND "UNIVERSAL DESIGN TYPICAL NOTES."



A FLOOR PLAN

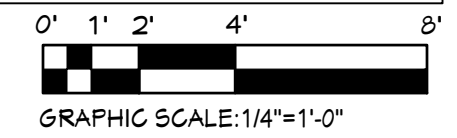
GROSS SQUARE FOOTAGE = 1,167 SF
NET SQUARE FOOTAGE = 1,101 SF

ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215		PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING	SHEET TITLE: 3 BEDRM. UNIT TYPE 3 ANSI TYPE B	DATE: 01-26-2023 DRAWN BY:	PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106	SERIES: LANDMARKS APPLICATION	SHEET: A4.3
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 ACCESSIBLE ROUTE

SEE SHEET A1.3 FOR "UNIT AMENITIES - TYPICAL NOTES" AND "ACCESSIBLE DESIGN" AND "UNIVERSAL DESIGN TYPICAL NOTES."



A FLOOR PLAN

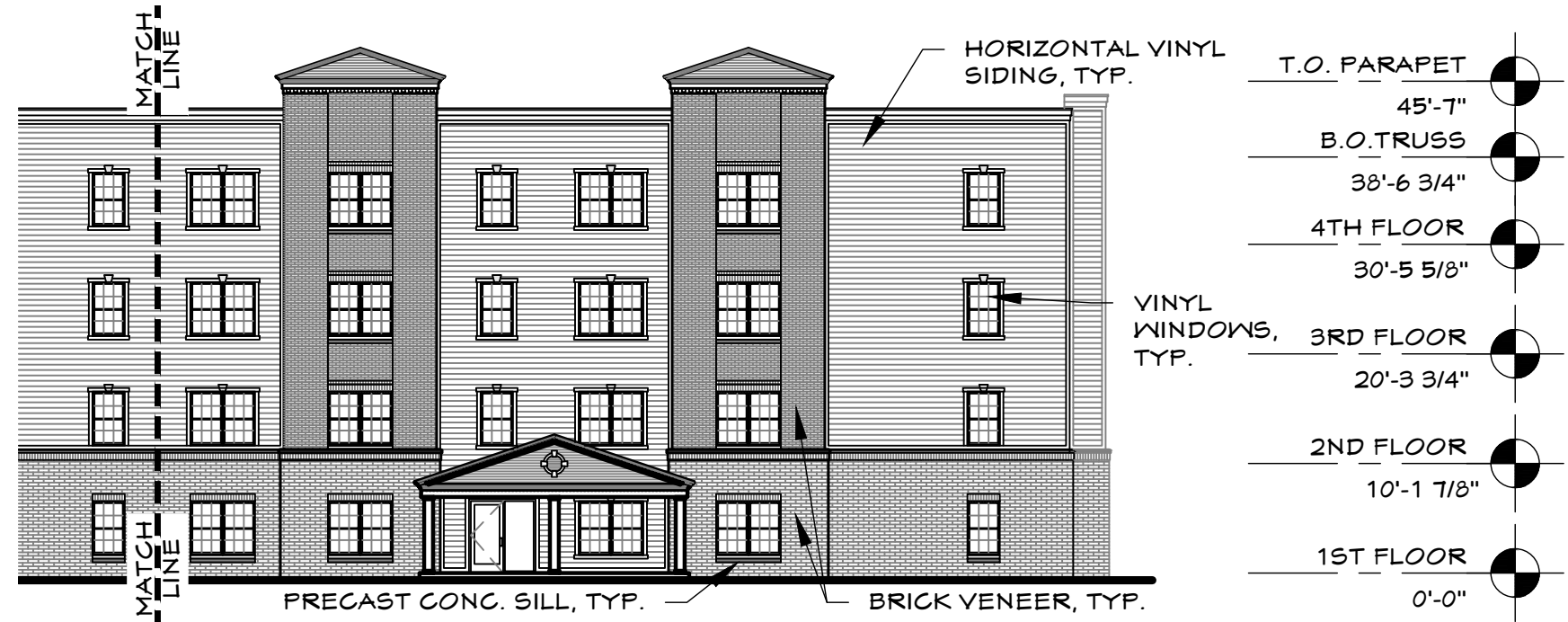
GROSS SQUARE FOOTAGE = 1,167 SF
NET SQUARE FOOTAGE = 1,101 SF

ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215		PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING	SHEET TITLE: 3 BEDRM. UNIT TYPE 4 ANSI TYPE A - ACCESS.	DATE: 01-26-2023 DRAWN BY:	PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106	SERIES: LANDMARKS APPLICATION	SHEET: A4.4
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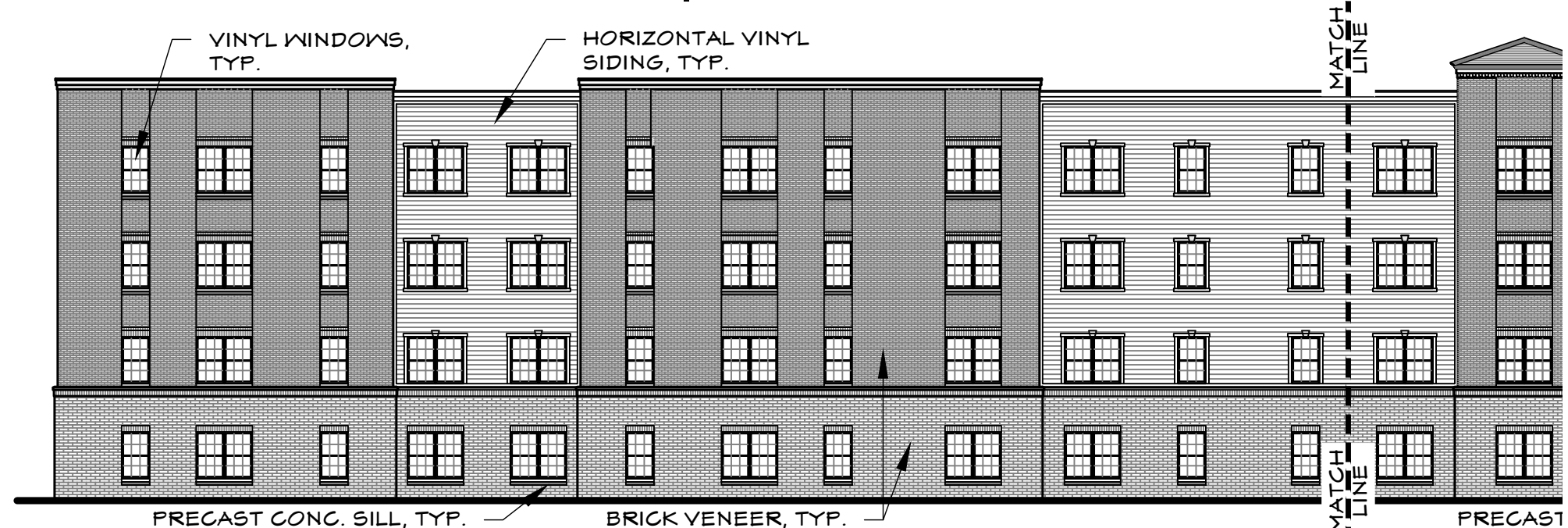


OVERALL ELEVATION

SCALE: 1" = 20'-0"



T.O. PARAPET	45'-7"
B.O. TRUSS	38'-6 3/4"
4TH FLOOR	30'-5 5/8"
3RD FLOOR	20'-3 3/4"
2ND FLOOR	10'-1 7/8"
1ST FLOOR	0'-0"



SEE SHEET A1.3 FOR "EXTERIOR MATERIALS - TYPICAL NOTES".

ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

SHEET TITLE:
**E. 101ST STREET
 EXTERIOR ELEVATION**

DATE:
 01-26-2023
 DRAWN BY:

PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

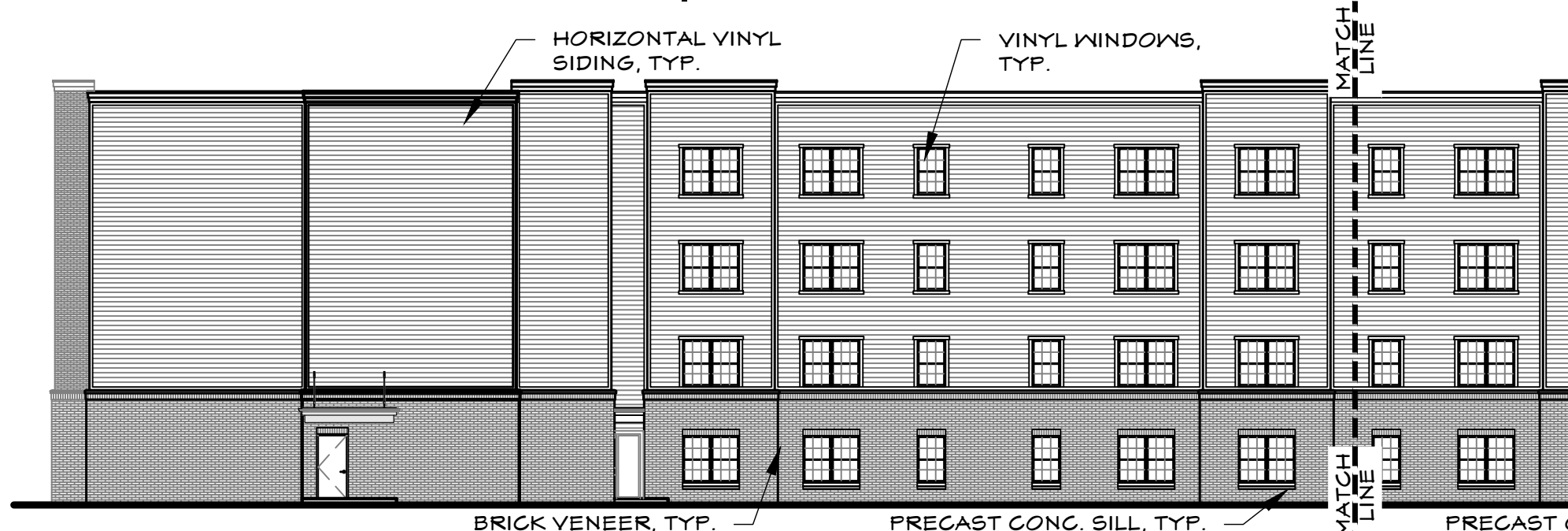
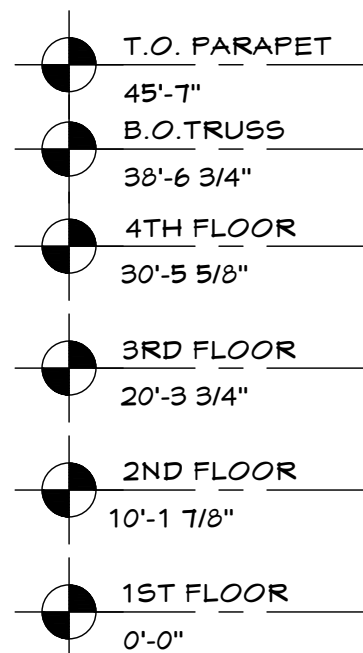
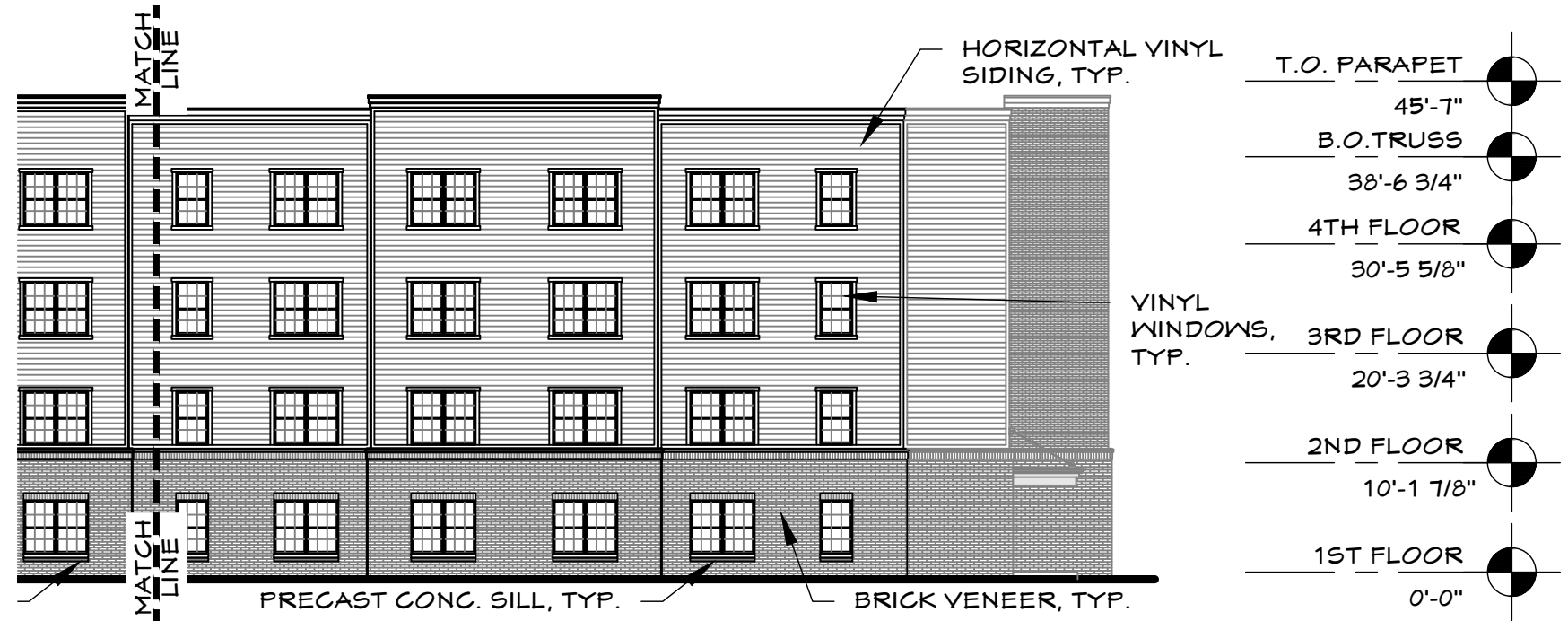
SERIES:
 LANDMARKS
 APPLICATION

SHEET:
A5.1

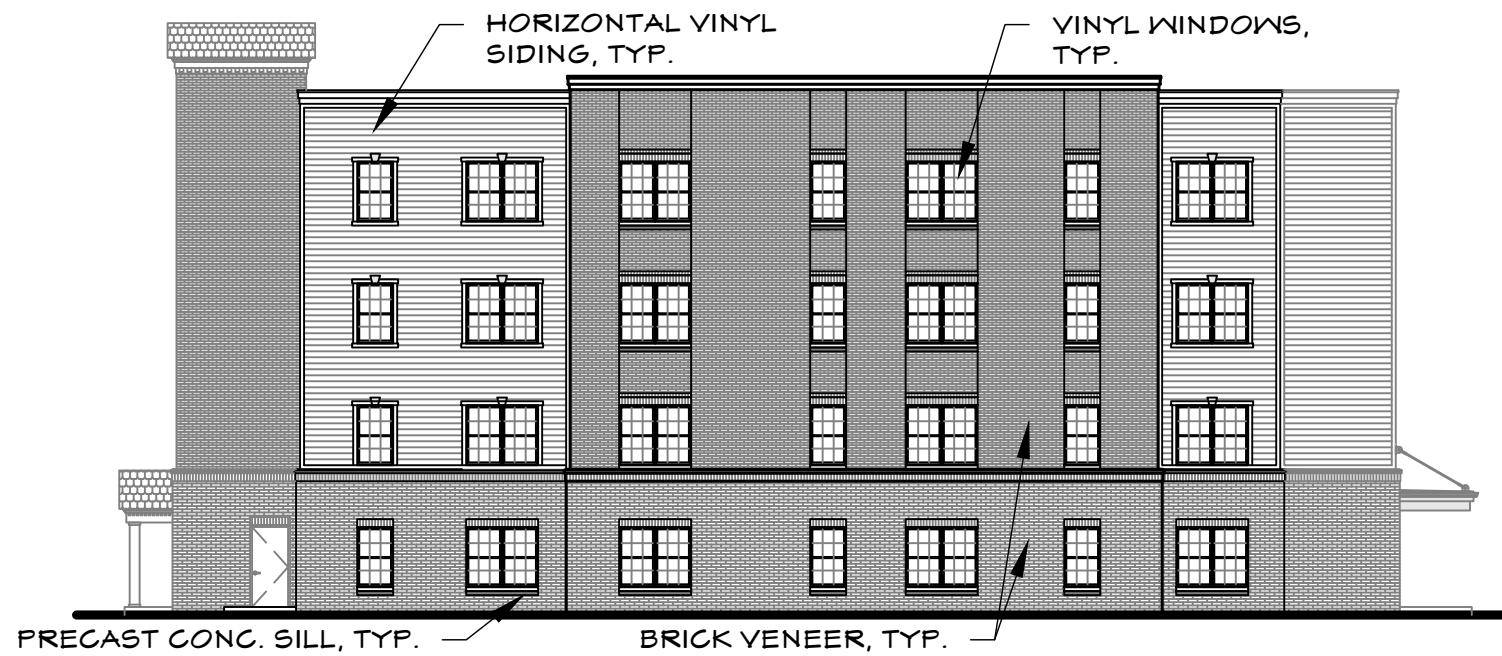


OVERALL ELEVATION

SCALE: 1" = 20'-0"

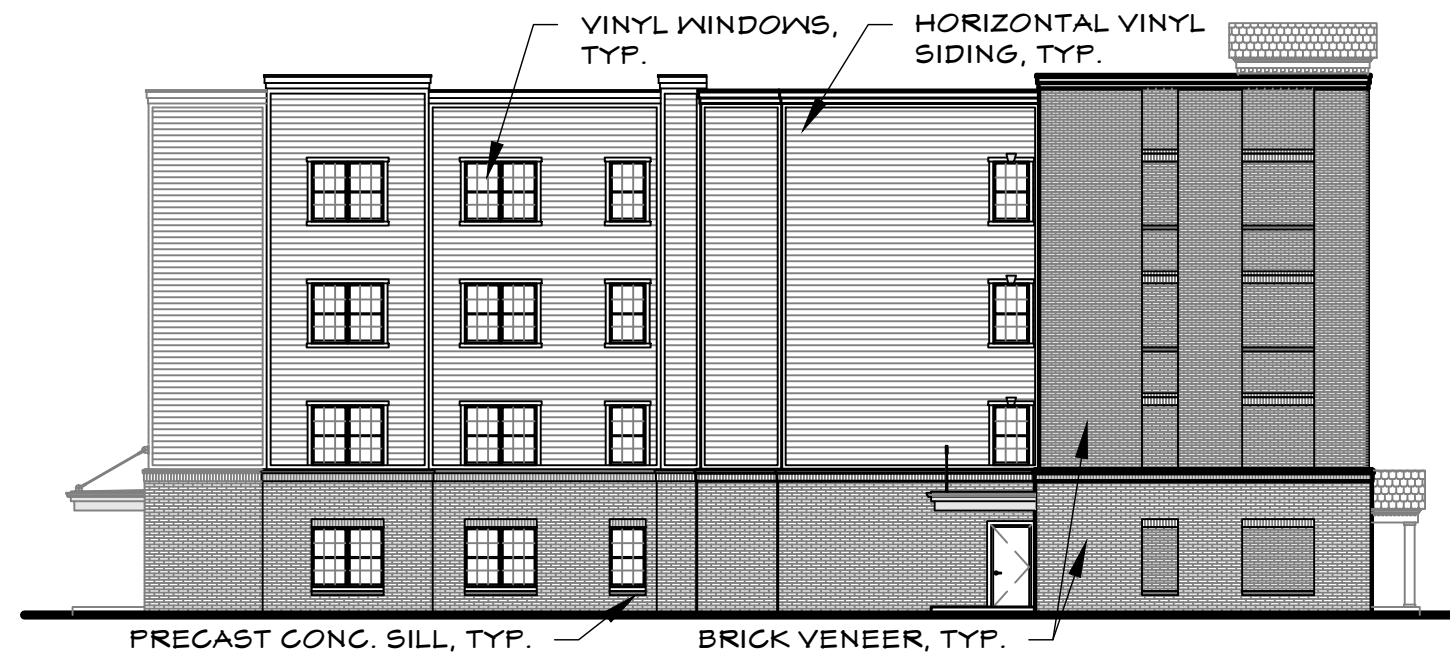


SEE SHEET A1.3 FOR "EXTERIOR MATERIALS - TYPICAL NOTES".



T.O. PARAPET	45'-7"
B.O. TRUSS	38'-6 3/4"
4TH FLOOR	30'-5 5/8"
3RD FLOOR	20'-3 3/4"
2ND FLOOR	10'-1 7/8"
1ST FLOOR	0'-0"

B WOODWARD AVE. ELEVATION



T.O. PARAPET	45'-7"
B.O. TRUSS	38'-6 3/4"
4TH FLOOR	30'-5 5/8"
3RD FLOOR	20'-3 3/4"
2ND FLOOR	10'-1 7/8"
1ST FLOOR	0'-0"

A NEWTON AVE. ELEVATION

SEE SHEET A1.3 FOR "EXTERIOR MATERIALS - TYPICAL NOTES".



EXTERIOR ELEVATION

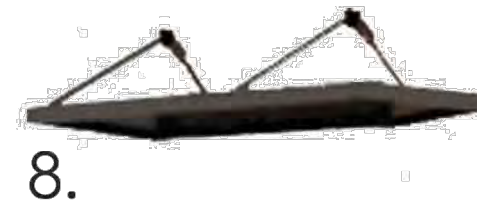
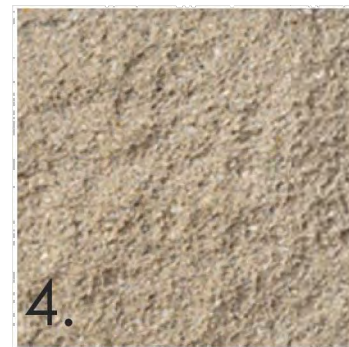
<p>ARCHITECT OF RECORD: PCI DESIGN GROUP, INC. 500 SOUTH FRONT STREET SUITE 975 COLUMBUS, OHIO 43215</p>		<p>PROJECT TYPE: MULTI-FAMILY OCCUPANCY HOUSING</p>	<p>SHEET TITLE: EXTERIOR ELEVATIONS RENDERED</p>	<p>DATE: 01-26-2023 DRAWN BY:</p>	<p>PROJECT TITLE: GORDON CROSSING WOODWARD AVE. & EAST 101ST ST. CLEVELAND, OHIO 44106</p>	<p>SERIES: LANDMARKS APPLICATION</p>	<p>SHEET: A5.4</p>
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GORDON CROSSING

EXTERIOR FINISHES



1. CertainTeed Vinyl Siding - Seagrass
2. Vinyl Windows with Keystone Accent
3. Rowlock Coarse - Belden 481-483 Smooth
4. Sill and Cast Stone Cap - Reading Rock Ivory
5. Dentil Accent
6. Facebrick - Belden 830 Dart-Tex
7. Dark Bronze Store Front
8. Dark Bronze Cantilever Awning





Google Earth



EXTERIOR PERSPECTIVE

N.T.S.

*ARTIST RENDERING PROVIDED BY POI DESIGN

ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

SHEET TITLE:
**EXTERIOR
 PERSPECTIVE**

DATE:
 01-26-2023
 DRAWN BY:

PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

SERIES:
**LANDMARKS
 APPLICATION**

SHEET:
A5.6



EXTERIOR PERSPECTIVE

N.T.S.

*ARTIST RENDERING PROVIDED BY POI DESIGN

ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

SHEET TITLE:
**EXTERIOR
 PERSPECTIVE**

DATE:
 01-26-2023
 DRAWN BY:

PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

SERIES:
**LANDMARKS
 APPLICATION**

SHEET:
A5.7



Google Earth



EXTERIOR PERSPECTIVE

N.T.S.

ARTIST RENDERING PROVIDED BY POD DESIGN

ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

SHEET TITLE:
AERIAL PERSPECTIVE

DATE:
01-26-2023
 DRAWN BY:

PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

SERIES:
**LANDMARKS
 APPLICATION**

SHEET:

A5.8



EXTERIOR PERSPECTIVE

N.T.S.

*ARTIST RENDERING PROVIDED BY POD DESIGN

ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

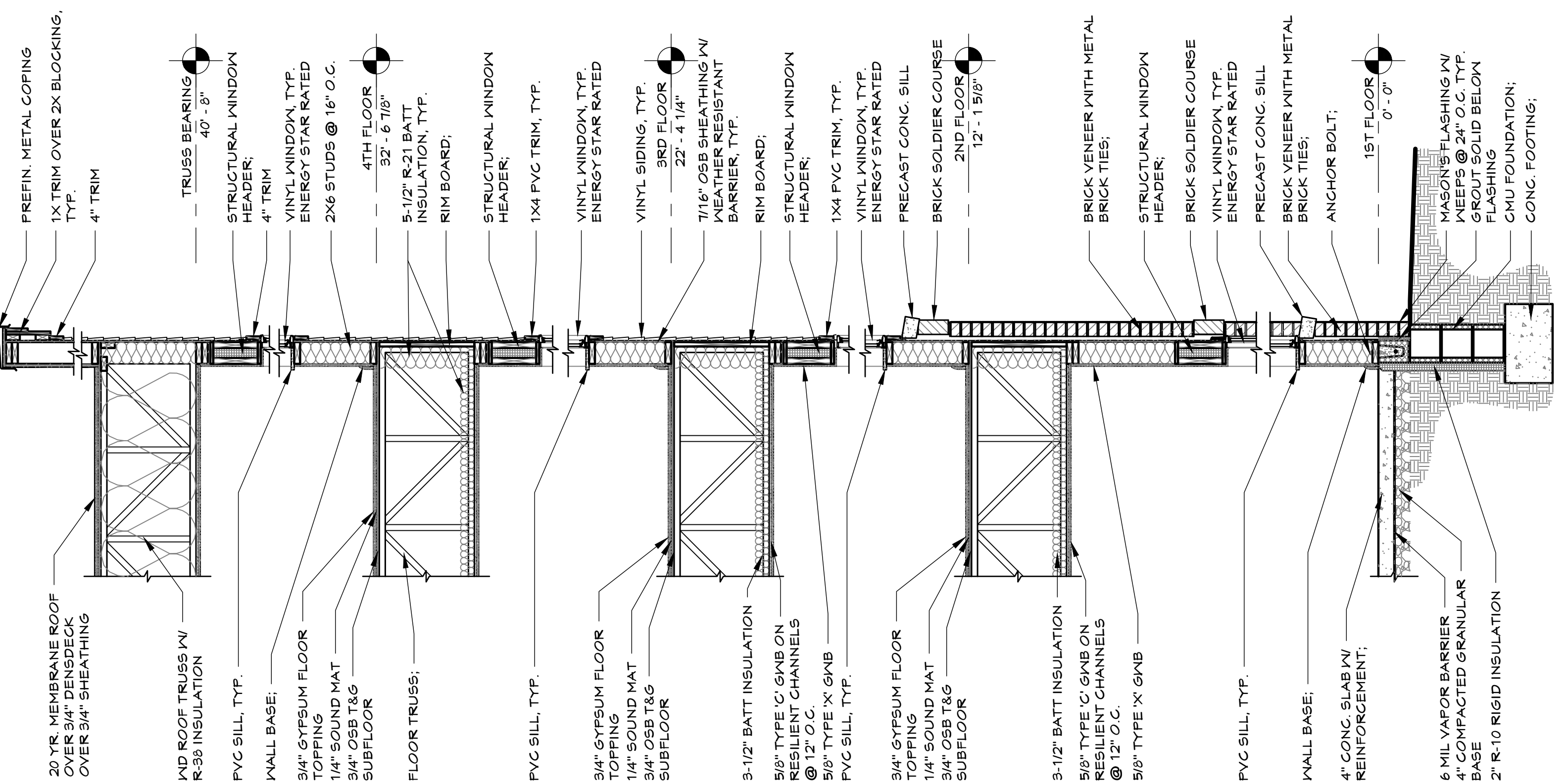
SHEET TITLE:
AERIAL PERSPECTIVE

DATE:
01-26-2023
 DRAWN BY:

PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

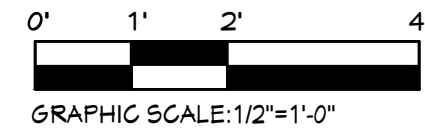
SERIES:
**LANDMARKS
 APPLICATION**

SHEET:
A5.9



PREFIN. METAL COPING
 1X TRIM OVER 2X BLOCKING, TYP.
 4" TRIM
 20 YR. MEMBRANE ROOF OVER 3/4" DENSDECK OVER 3/4" SHEATHING
 WD ROOF TRUSS W/ R-38 INSULATION
 PVC SILL, TYP.
 WALL BASE;
 3/4" GYPSUM FLOOR TOPPING
 1/4" SOUND MAT
 3/4" OSB T&G SUBFLOOR
 FLOOR TRUSS;
 PVC SILL, TYP.
 3/4" GYPSUM FLOOR TOPPING
 1/4" SOUND MAT
 3/4" OSB T&G SUBFLOOR
 3-1/2" BATT INSULATION
 5/8" TYPE 'C' GNB ON RESILIENT CHANNELS @ 12" O.C.
 5/8" TYPE 'X' GNB
 PVC SILL, TYP.
 3/4" GYPSUM FLOOR TOPPING
 1/4" SOUND MAT
 3/4" OSB T&G SUBFLOOR
 3-1/2" BATT INSULATION
 5/8" TYPE 'C' GNB ON RESILIENT CHANNELS @ 12" O.C.
 5/8" TYPE 'X' GNB
 PVC SILL, TYP.
 WALL BASE;
 4" CONC. SLAB W/ REINFORCEMENT;
 6 MIL VAPOR BARRIER
 4" COMPACTED GRANULAR BASE
 2" R-10 RIGID INSULATION

TRUSS BEARING 40' - 8"
 STRUCTURAL WINDOW HEADER;
 4" TRIM
 VINYL WINDOW, TYP. ENERGY STAR RATED
 2X6 STUDS @ 16" O.C.
 4TH FLOOR 32' - 6 7/8"
 5-1/2" R-21 BATT INSULATION, TYP.
 RIM BOARD;
 STRUCTURAL WINDOW HEADER;
 1X4 PVC TRIM, TYP.
 VINYL WINDOW, TYP. ENERGY STAR RATED
 VINYL SIDING, TYP.
 3RD FLOOR 22' - 4 1/4"
 7/16" OSB SHEATHING W/ WEATHER RESISTANT BARRIER, TYP.
 RIM BOARD;
 STRUCTURAL WINDOW HEADER;
 1X4 PVC TRIM, TYP.
 VINYL WINDOW, TYP. ENERGY STAR RATED
 PRECAST CONC. SILL
 BRICK SOLDIER COURSE
 2ND FLOOR 12' - 1 5/8"
 BRICK VENEER WITH METAL BRICK TIES;
 STRUCTURAL WINDOW HEADER;
 BRICK SOLDIER COURSE
 VINYL WINDOW, TYP. ENERGY STAR RATED
 PRECAST CONC. SILL
 BRICK VENEER WITH METAL BRICK TIES;
 ANCHOR BOLT;
 1ST FLOOR 0' - 0"
 MASON'S FLASHING W/ KEEPS @ 24" O.C. TYP. GROUT SOLID BELOW FLASHING
 CMU FOUNDATION;
 CONC. FOOTING;



ARCHITECT OF RECORD:
PCI DESIGN GROUP, INC.
 500 SOUTH FRONT STREET SUITE 975
 COLUMBUS, OHIO 43215



PROJECT TYPE:
**MULTI-FAMILY
 OCCUPANCY
 HOUSING**

SHEET TITLE:
TYPICAL WALL SECTION

DATE:
 01-26-2023
 DRAWN BY:

PROJECT TITLE:
GORDON CROSSING
 WOODWARD AVE. & EAST 101ST ST.
 CLEVELAND, OHIO 44106

SERIES:
**LANDMARKS
 APPLICATION**

SHEET:
A6.1

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WODA COOPER COMPANIES

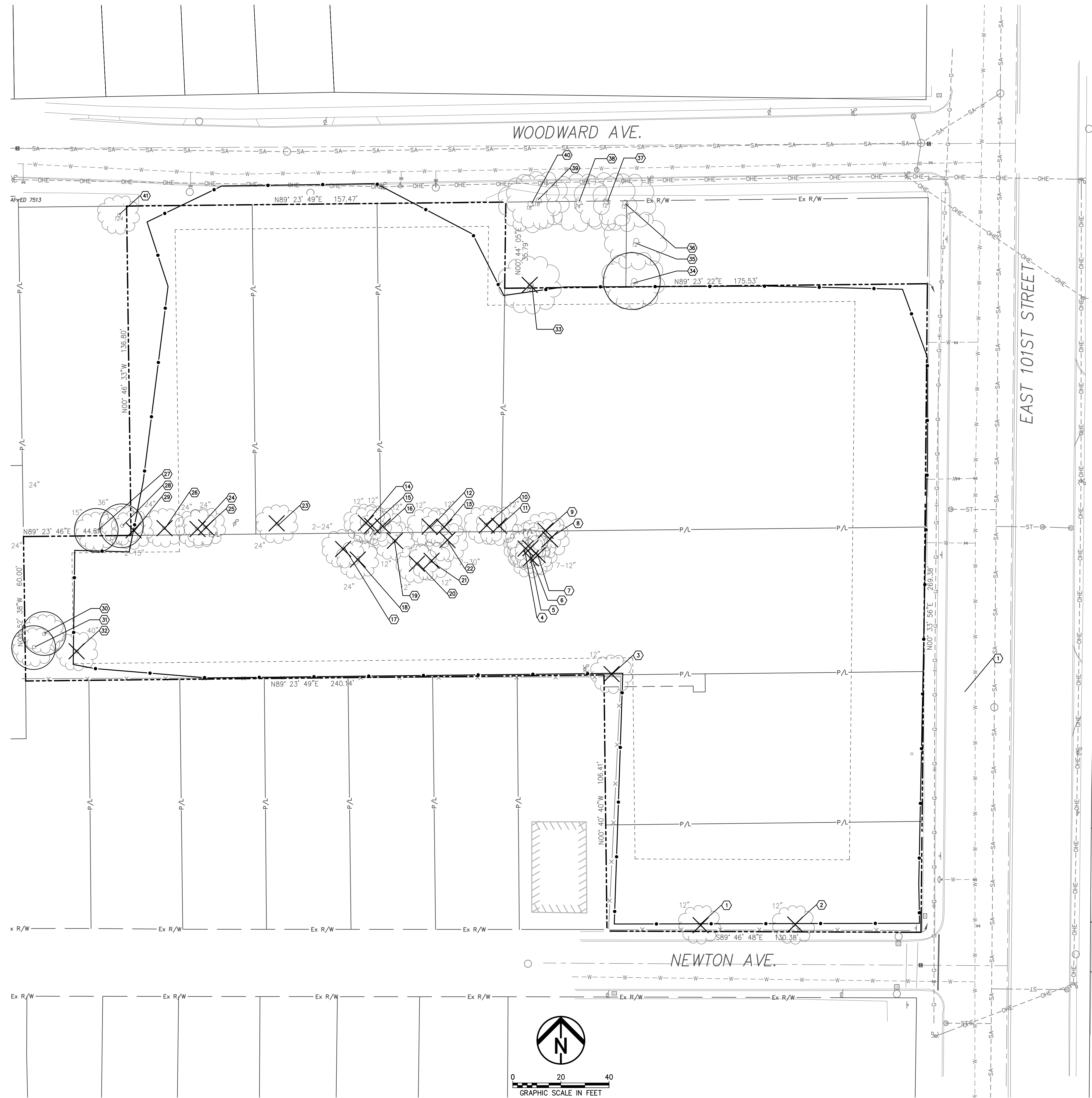
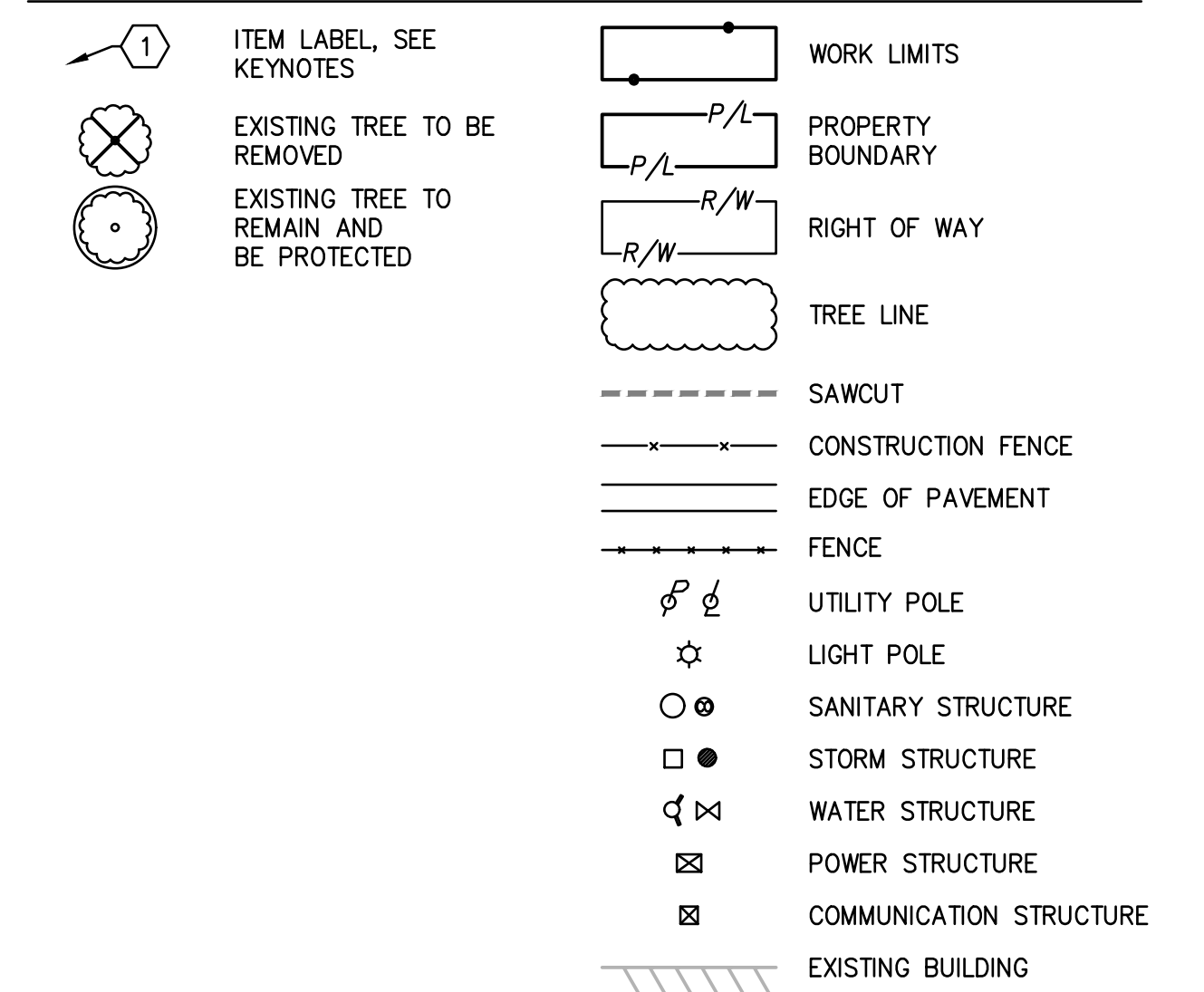
Tree Preservation Plan

The Tree Preservation Plan included in this application is the same one that was provided to the Euclid Corridor Design Review in the Conceptual Review Meeting. The feedback received at that meeting, which meant a major redesign of the site, was incorporated into this application. The building has now been moved to maximize frontage along East 101st Street. The site includes ingress off of Woodward Avenue and egress to Newton Avenue. In addition, a landscape buffer will be included between the site and the single-family homes in the Newton Avenue historic district in order to provide a smooth transition and act as a bookend to Newton Avenue. Please note that the Tree Preservation Plan reflects the old version of the site plan prior to the redesign and is included for reference purposes only. The Tree Preservation Plan is being updated to reflect the new redesign and will be provided once completed.

EXISTING TREES

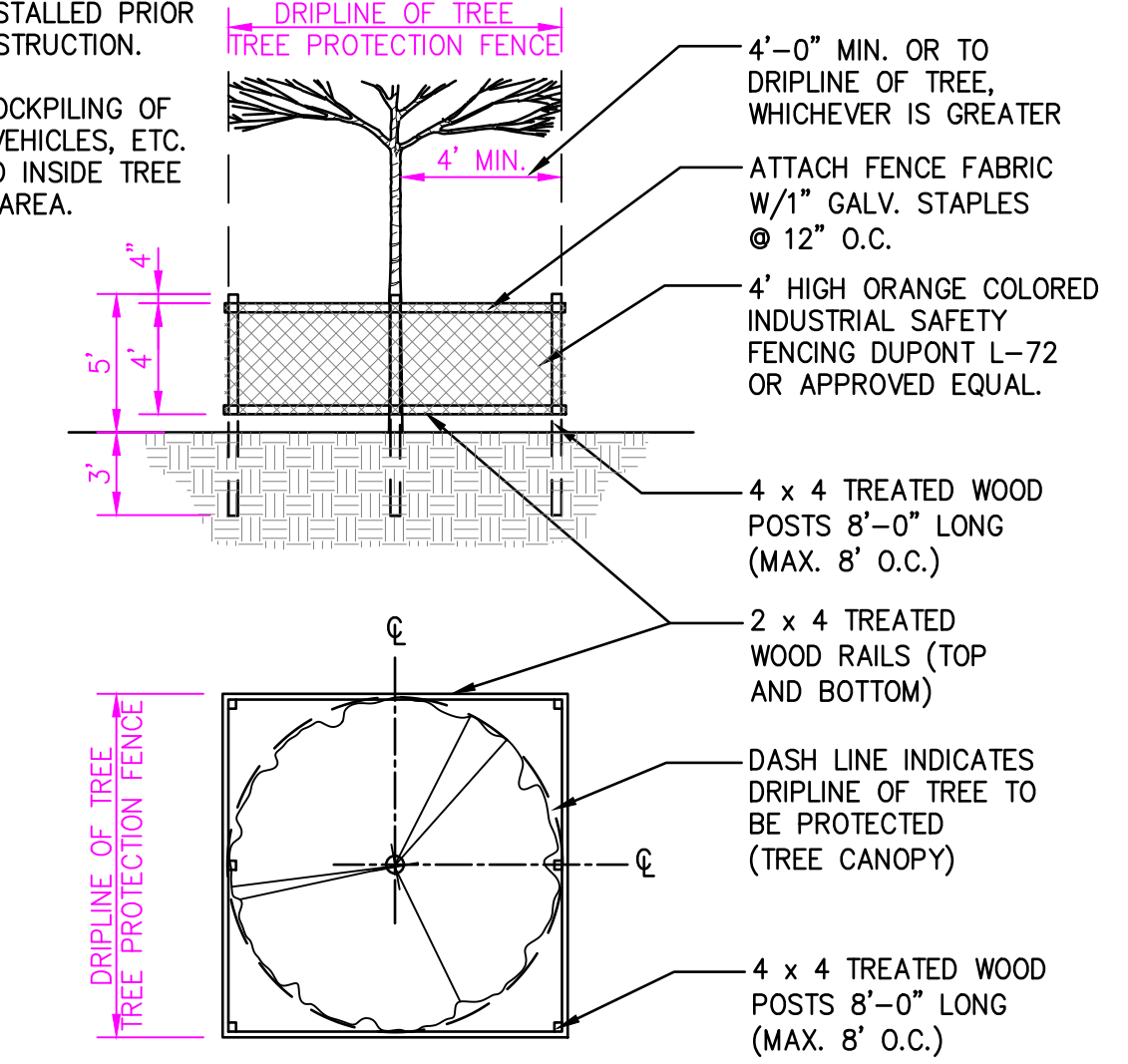
KEY	BOTANICAL NAME	COMMON NAME	SPECIES RATING	DBH	CTLA	CONDITION	REMARKS	CONDITION RATING	LOCATION RATING	HEIGHT	INTENT
1	<i>Catalpa speciosa</i>	Northern Catalpa	0.4	12"	113.10	Fair		0.5	0.3	25'	Replace
2	<i>Catalpa speciosa</i>	Northern Catalpa	0.4	12"	113.10	Fair	partly integrated with fence	0.5	0.3	20'	Replace
3	<i>Malus</i>	crab apple	0.8	12"	113.10	poor	Tree is growing into fence and guy wires	0.3	0.3	15'	Replace
4	<i>Ulmus americana</i>	American Elm	0.3	12"	113.10	poor	diseased	0.75	0.5	60'	Replace
5	<i>Ulmus americana</i>	American Elm	0.3	12"	113.10	poor	diseased	0.75	0.5	60'	Replace
6	<i>Ulmus americana</i>	American Elm	0.3	12"	113.10	poor	diseased	0.75	0.5	60'	Replace
7	<i>Ulmus americana</i>	American Elm	0.3	12"	113.10	poor	diseased	0.75	0.5	60'	Replace
8	<i>Ulmus americana</i>	American Elm	0.3	12"	113.10	poor	diseased	0.75	0.5	60'	Replace
9	<i>Acer platanoides</i>	Norway Maple	0.2	12"	113.10	Invasive	growth integrated with dead trees	0.3	0.5	25'	Replace
10	<i>Acer platanoides</i>	Norway Maple	0.2	12"	113.10	Invasive		0.85	0.5	20'	Replace
11	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10		good	0.85	0.5	35'	Replace
12	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10		good	0.85	0.5	35'	Replace
13	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10		good	0.85	0.5	35'	Replace
14	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10		good	0.85	0.5	35'	Replace
15	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10		good	0.85	0.5	35'	Replace
16	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10		good	0.85	0.5	35'	Replace
17	<i>Ulmus americana</i>	American Elm	0.3	24"	452.39		Dual trunk - diseased	0.3	0.5	60'	Replace
18	<i>Ulmus americana</i>	American Elm	0.3	24"	452.39		diseased	0.75	0.5	60'	Replace
19	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10			0.85	0.5	35'	Replace
20	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10			0.85	0.5	35'	Replace
21	<i>Acer saccharum</i>	Sugar Maple	0.8	12"	113.10			0.85	0.5	35'	Replace
22	<i>Acer saccharum</i>	Sugar Maple	0.8	30"	706.86		Dual trunk	0.3	0.5	35'	Replace
23	<i>Fagus grandiflora</i>	American Beech	0.8	24"	452.39			0.85	0.5	60'	Replace
24	<i>Fagus grandiflora</i>	American Beech	0.8	24"	452.39			0.85	0.5	60'	Replace
25	<i>Fagus grandiflora</i>	American Beech	0.8	24"	452.39			0.85	0.5	60'	Replace
26	<i>Fagus grandiflora</i>	American Beech	0.8	24"	452.39			0.85	0.5	60'	Replace
27	<i>Acer saccharum</i>	Sugar Maple	0.8	15"	176.72			0.85	0.5	35'	Preserve
28	<i>Acer saccharum</i>	Sugar Maple	0.8	36"	1017.88			0.85	0.5	35'	Preserve
29	<i>Acer saccharum</i>	Sugar Maple	0.8	15"	176.72	poor	Dual trunk	0.3	0.5	35'	Replace
30	<i>Acer platanoides</i>	Norway Maple	0.2	24"	452.39	Poor	growing into fence	0.3	0.5	30'	Preserve
31	<i>Ulmus americana</i>	American Elm	0.3	24"	452.39		growing into fence	0.3	0.5	60'	Preserve
32	<i>Acer platanoides</i>	Norway Maple	0.2	40"	1256.64	Poor	dual trunk, growing into fence	0.3	0.5	50'	Replace
33	<i>Acer saccharinum</i>	Silver maple	0.4	12"	113.10	Poor	multi-stem	0.3	0.3	35'	Replace
34	<i>Acer saccharinum</i>	Silver maple	0.4	12"	113.10	Poor	multi-stem	0.3	0.3	35'	Preserve
35	<i>Acer saccharinum</i>	Silver maple	0.4	12"	113.10	Poor	leaning	0.3	0.3	35'	Preserve
36	<i>Acer saccharinum</i>	Silver maple	0.4	12"	113.10	Poor	multi-stem	0.3	0.3	25'	Preserve
37	<i>Acer saccharinum</i>	Silver maple	0.4	12"	113.10			0.75	0.3	25'	Preserve
38	<i>Fagus grandiflora</i>	American Beech	0.8	12"	113.10			0.75	0.3	25'	Preserve
39	<i>Fagus grandiflora</i>	American Beech	0.8	18"	254.47	Poor	overhanging sidewalk and road	0.3	0.3	50'	Preserve
40	<i>Acer saccharinum</i>	Silver maple	0.4	18"	254.47	Poor	multi-stem with dead trunk	0.3	0.3	25'	Preserve

TREE PRESERVATION PLAN LEGEND



NOTES:

- TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION.
- GRADING, STOCKPILING OF MATERIALS, VEHICLES, ETC. NOT ALLOWED INSIDE TREE PROTECTION AREA.



1 TYPICAL TREE PROTECTION
1 NOT TO SCALE

GORDON CROSSING
WODA COOPER COMPANIES, INC

80%

DATE: _____

REVISIONS	DATE	DESCRIPTION

PROJECT NO.: 22-00443-010
DRAWN BY: ABD
CHECKED BY: DWS
DATE ISSUED: 9/23/22

TREE PRESERVATION PLAN

Cleveland Landmarks Commission

Design Review



January 26, 2023

Euclid Corridor Design Review Case Detail Report

Project Information

Euclid Corridor CASE # EC 2022-038

Project Name: **Gordon Crossing**
Address: **E 101st & Woodward Ave,**
Company: **Woda Cooper Companies**
Architect/Contractor: **PCI Design Group Inc.**
General Description:
Notes:

ACTIONS/APPROVALS/DISAPPROVALS

Action	
Action Date:	
Committee:	Staff
Action Type:	Initial Plan Submission
Notes:	

Action	
Action Date:	
Committee:	Local Design Review Committee
Action Type:	No Action Taken
Conditions:	Committee requested additional information Study how the building can be better sited on the property (move it north so that parking is in the rear.
Notes:	

Cleveland Landmarks Commission

Staff Report



January 26, 2023

Design Review Committee Appointments



January 26, 2023

Design Review Committee Appointments

January 26, 2023



Historic West Cleveland Historic District

1. Claire Markwardt Bank

Cleveland Landmarks Commission

Meeting Minute Approvals



January 26, 2023

Meeting Minutes Approval

January 26, 2023



December 22, 2022

August 11, 2022

July 14, 2022

November 14, 2013

Administrative Reports



Cleveland Landmarks Commission

Adjournment



January 26, 2023

Cleveland Landmarks Commission



January 26, 2023