



Cleveland City Planning Commission

Friday, November 18, 2022

**** PLEASE MUTE YOUR MICROPHONE ****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

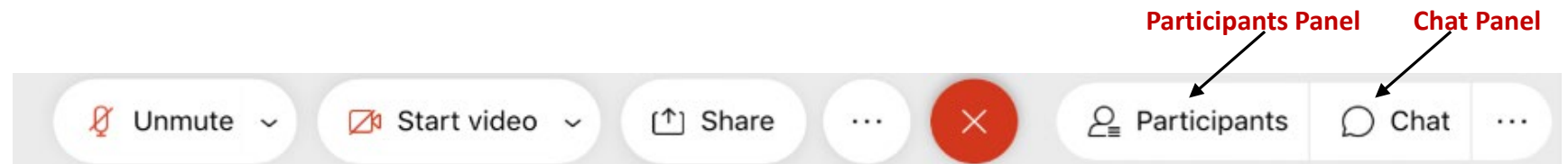
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



November 18, 2022

Cleveland City Planning Commission

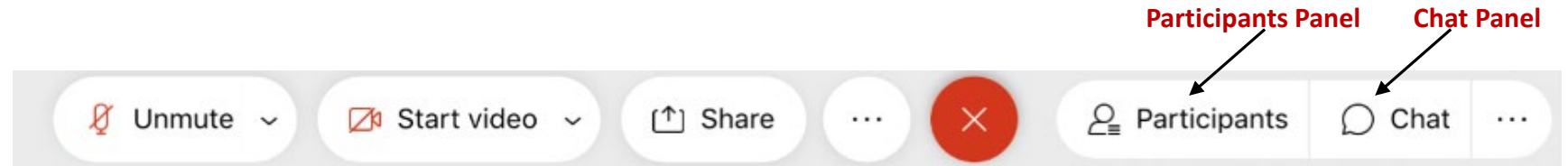
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



November 18, 2022

Cleveland City Planning Commission

Call to Order and Roll Call



November 18, 2022

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



November 18, 2022

Cleveland City Planning Commission

Zoning Map Amendments



November 18, 2022



Ordinance No. xxx-2022 (Ward 3/Councilmember McCormack):

Changing the Use, Area and Height Districts of parcels of land south of Lorain Avenue along West 44th Street and adding a zero (0) foot Specific Mapped Setback on the east side of West 44th Street between Orchard Avenue and Lorain Court.

Presenter: Xavier Bay, Staff Planner

Map Change 2658

**City Planning Commission
November 18, 2022**



Proposal

Changing the Use, Area & Height Districts of parcels of land south of Lorain Ave along W44th Street and add a zero (0) foot specific mapped setback on the east side of W44th Street between Orchard Ave and Lorain Ct. (MC 2658)

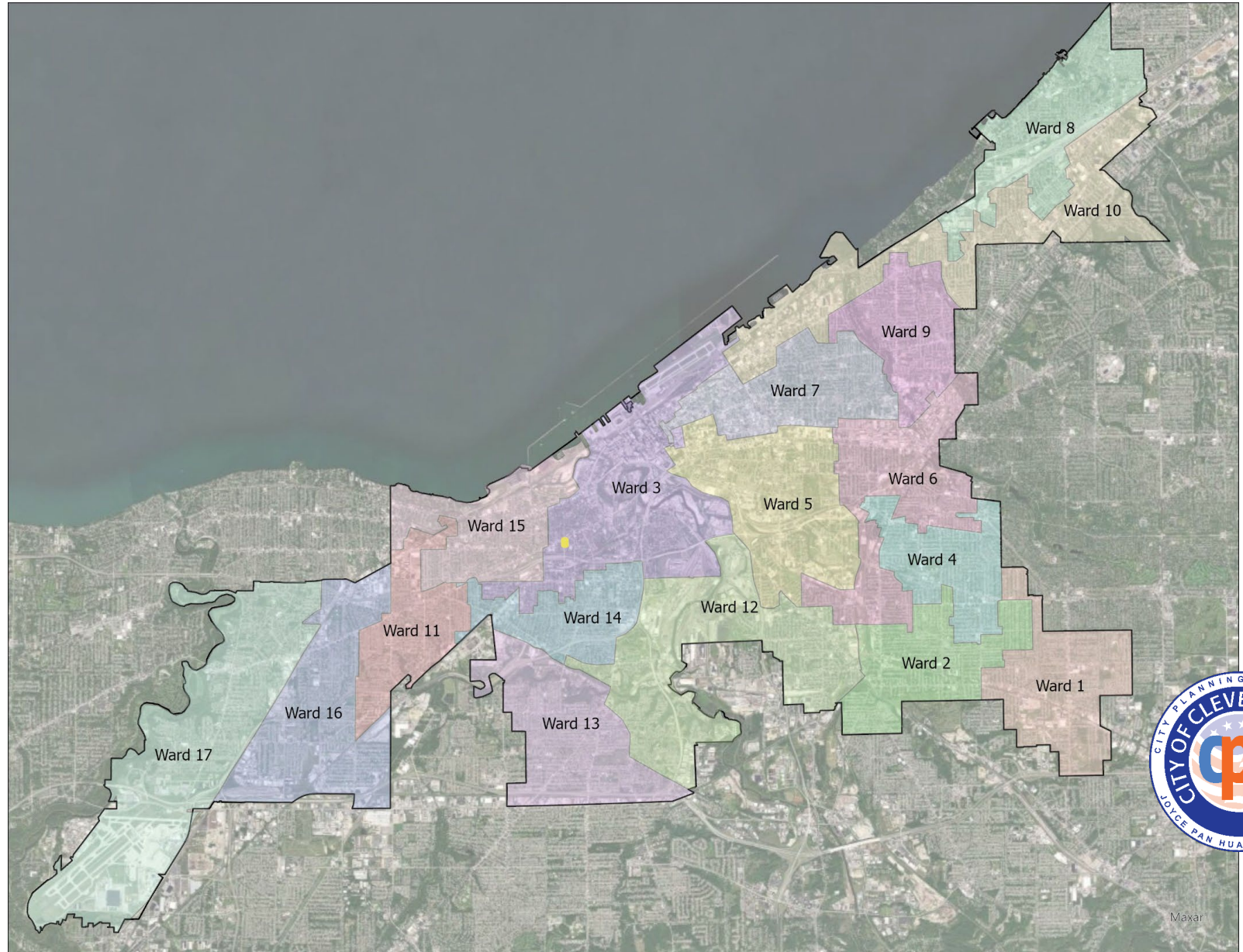
Purpose

- To promote redevelopment and enhance the character of the area.
 - To promote variety of housing typologies.



Cleveland Context

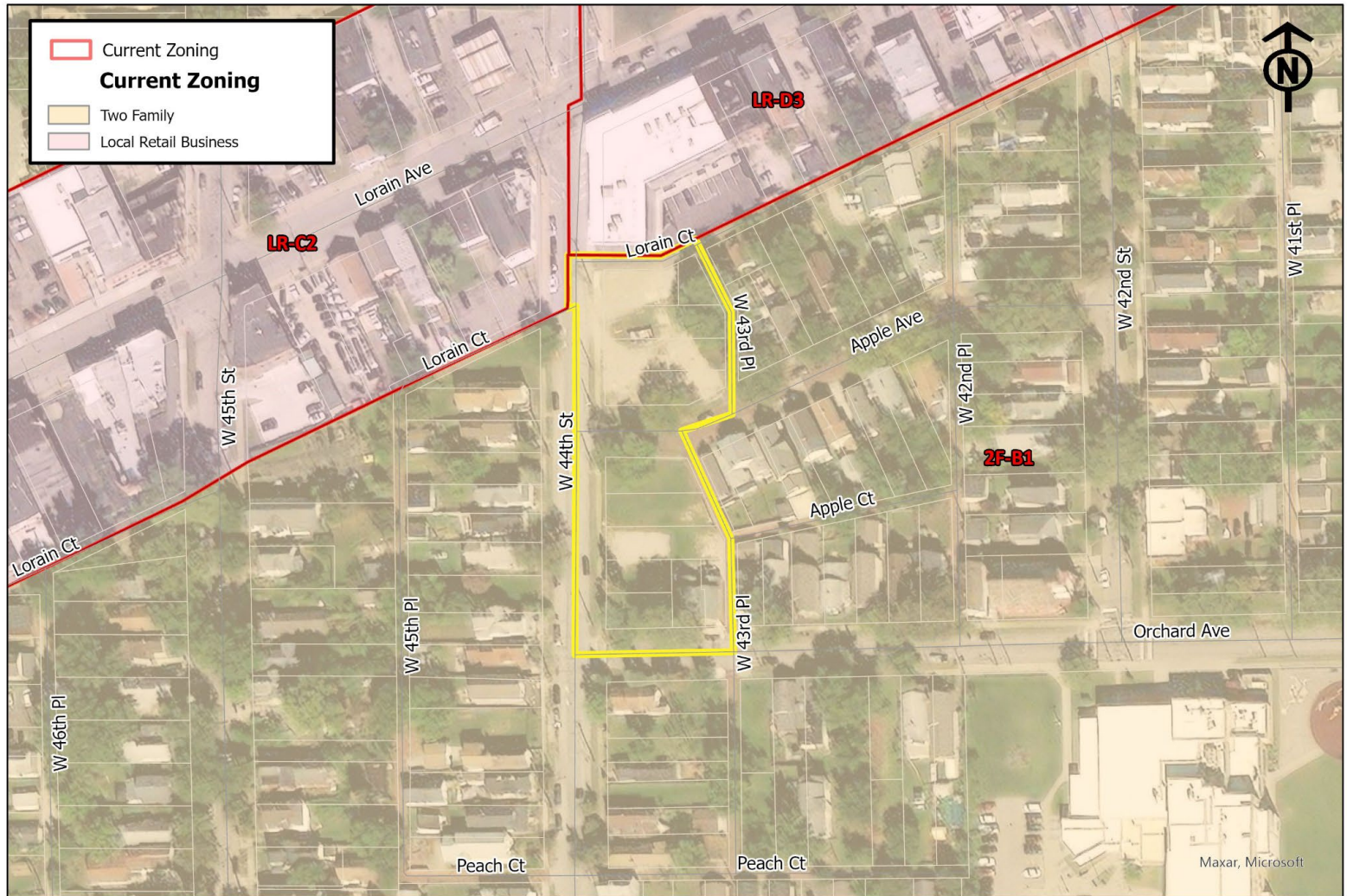
Map Change 2658



Maxar

Existing Zoning

Two-Family B1



Map Change 2658

Changing the Use, Area, & Height Districts
of parcels of land south of Lorain Ave between Lorain Ct. and Orchard Ave
and adding a zero (0) foot Specific mapped Setback on the easterly side of West 44th Street

100

Feet

Date: October 28, 2022

Map Change 2658

Existing Conditions



Existing Conditions

W44th St & Apple Ave
Northeast



W43rd St & Lorain Ct.
South



Existing Conditions

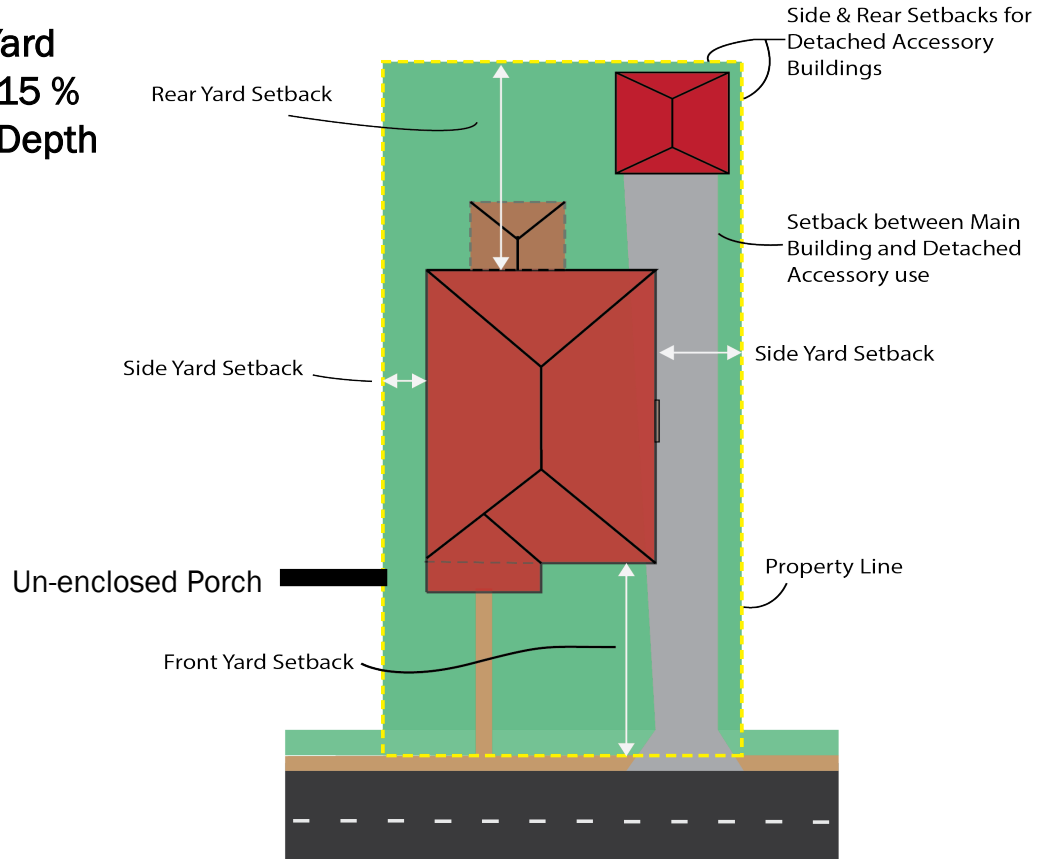
W44th St & Orchard Ave
Northeast



Google

Residential Yard (Setback) Requirements

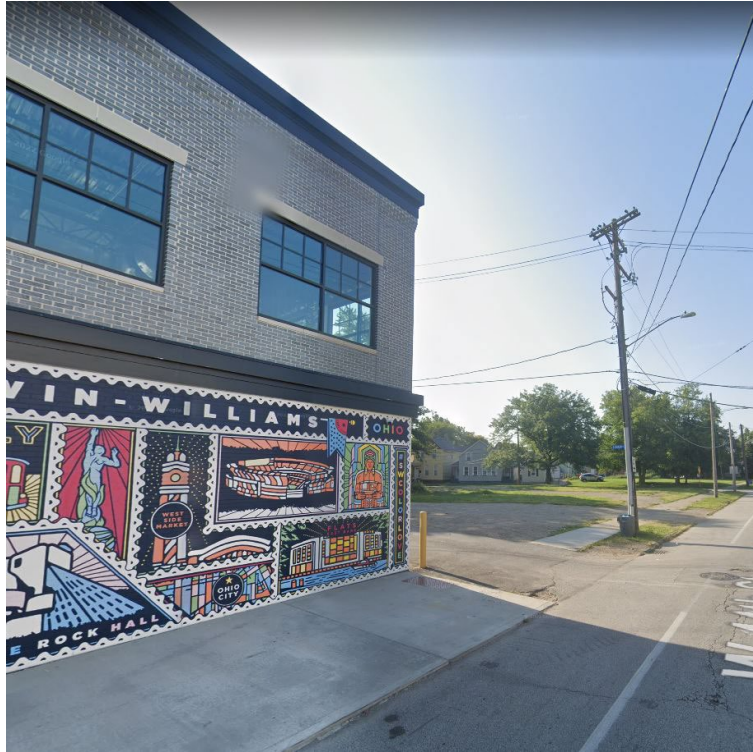
**Front Yard
Req = 15 %
of Avg Depth
of Lot**



**Front, Rear
& Side Yard
Setbacks
Required for
all Main
Buildings in
Residential
Districts**



W44th St & Lorain Ct.
Southeast



Existing Setbacks

W44th St
Northeast



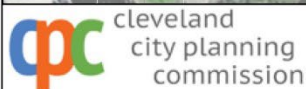
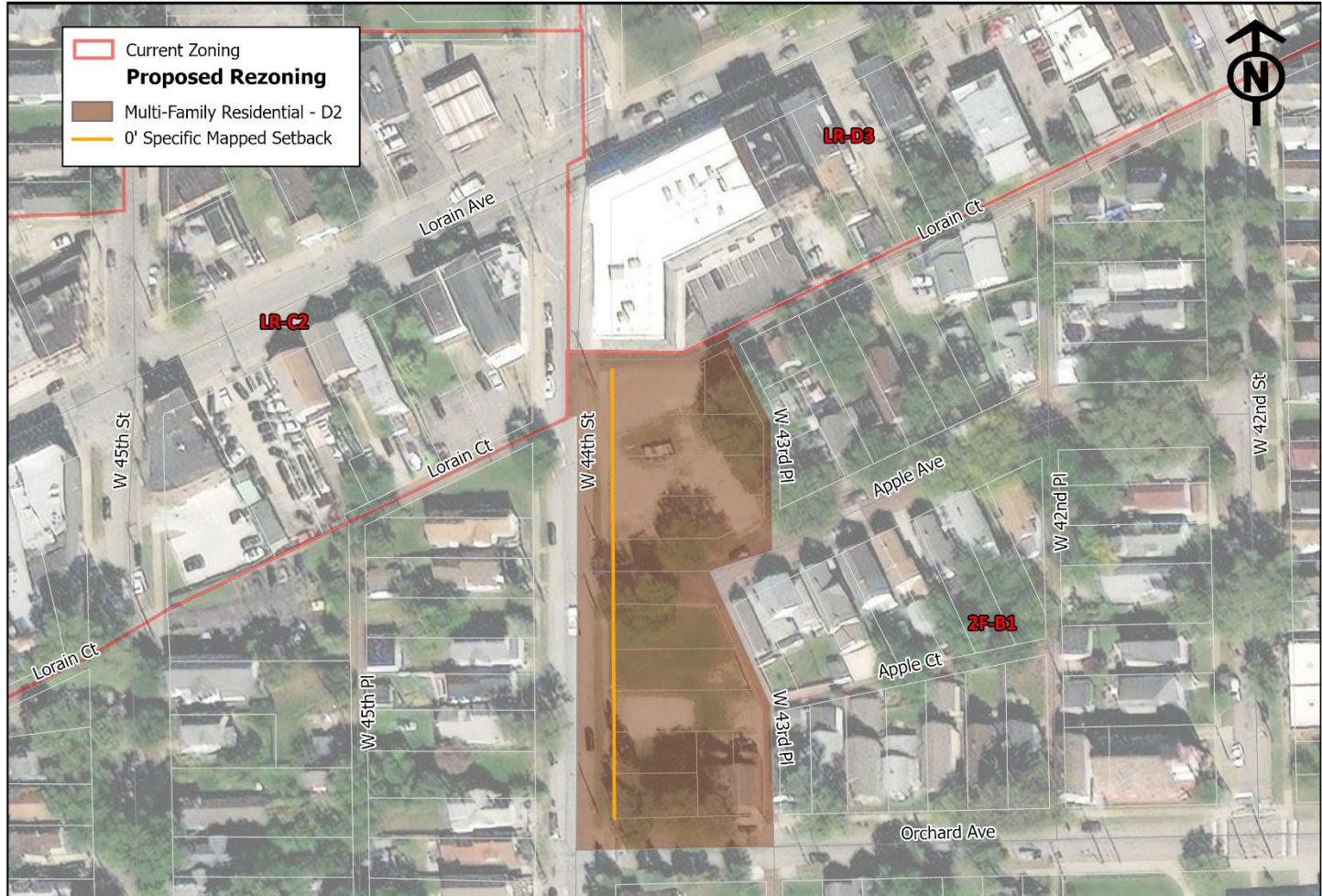
Mapped Setbacks



Proposed New Districts

Multi-Family Residential - D2
0' Specific Mapped Setback

Map Change 2658



Date: October 28, 2022

Map Change 2658

Changing the Use, Area, & Height Districts
of parcels of land south of Lorain Ave between Lorain Ct. and Orchard Ave
and adding a zero (0) foot Specific mapped Setback on the easterly side of West 44th Street





Legend

- AB American Beech
(*fagus grandifolia*)
- BJ Blue Juniper (bush and arrow)
(*Juniperus squamata*)
- HL Honeylocust
(*Gleditsia triacanthos*)
- PL Pole Light
- UL Landscape Lighting
- WL1 Straight Arm Wall Sconce
- WL2 Up/Down LED Wall Sconce

Overall Site Plan
Scale: 1"=20'-0" ©



View 5.
View from Lorain Ct.

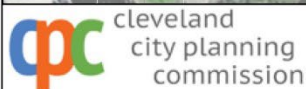
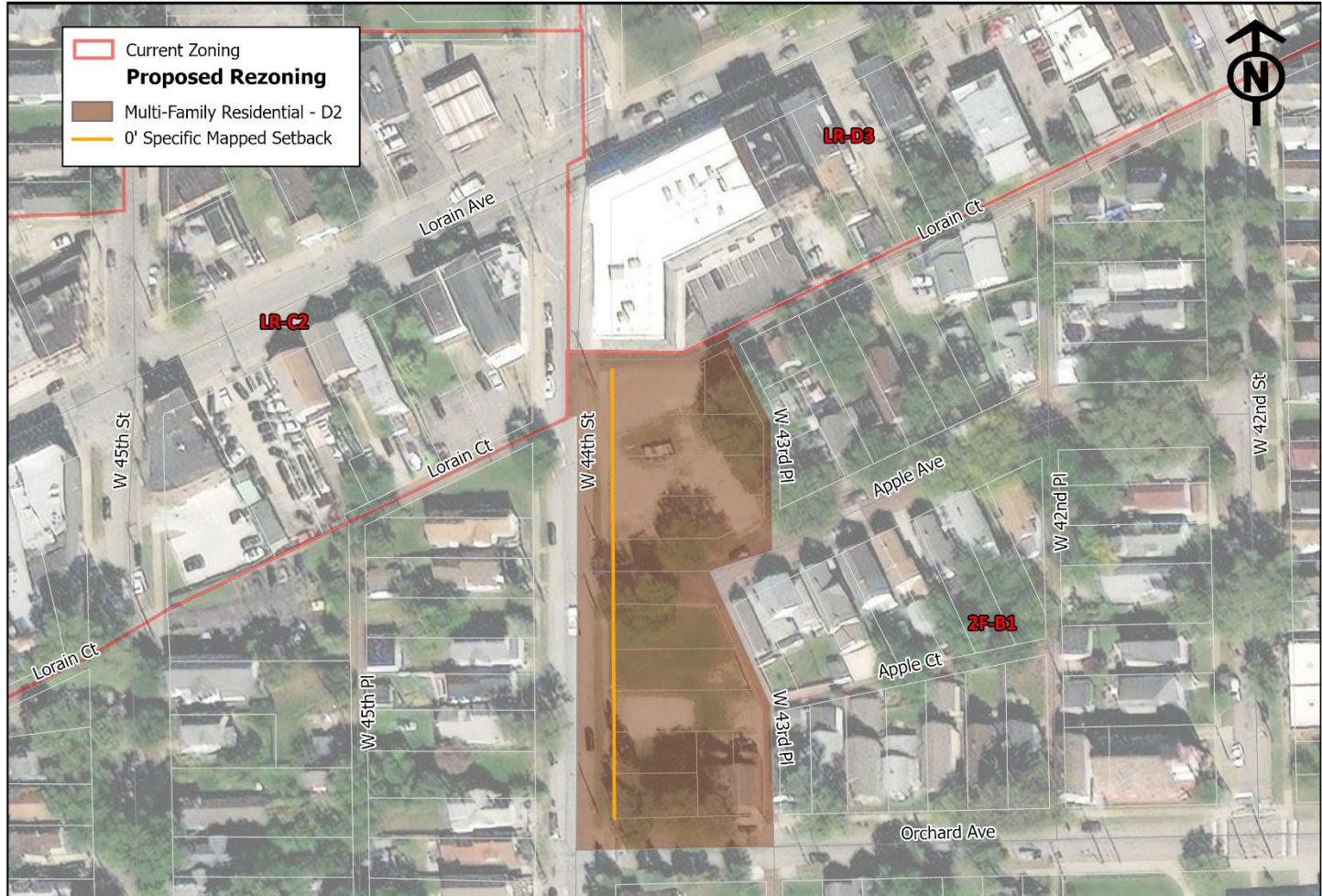


View 4.
View looking down W.44th St.

Proposed New Districts

Multi-Family Residential - D2
0' Specific Mapped Setback

Map Change 2658



Date: October 28, 2022

Map Change 2658

Changing the Use, Area, & Height Districts
of parcels of land south of Lorain Ave between Lorain Ct. and Orchard Ave
and adding a zero (0) foot Specific mapped Setback on the easterly side of West 44th Street





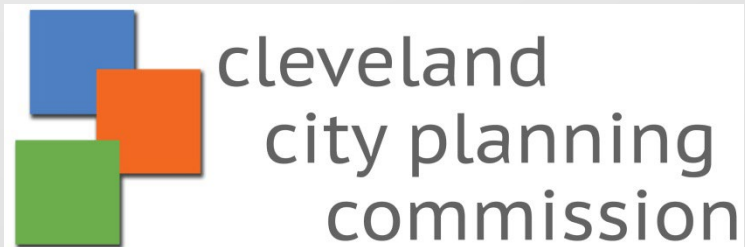
Ordinance No. xxx-2022 (Ward 3/Councilmember McCormack):

Changing the Use, Area and Height Districts of parcels of land east of West 25th Street and adding a zero (0) foot Specific Mapped Setback on the easterly side of West 20th Street and the northerly side of Moltke Court.

Presenter: Shannan Leonard, Staff Planner

Map Change 2659

City Planning Commission
November 18, 2022



Proposal

Changing the Use, Area & Height Districts of parcels of land east of West 20th Street between the Nickel Plate Railroad & Moltke Court (MC 2659)

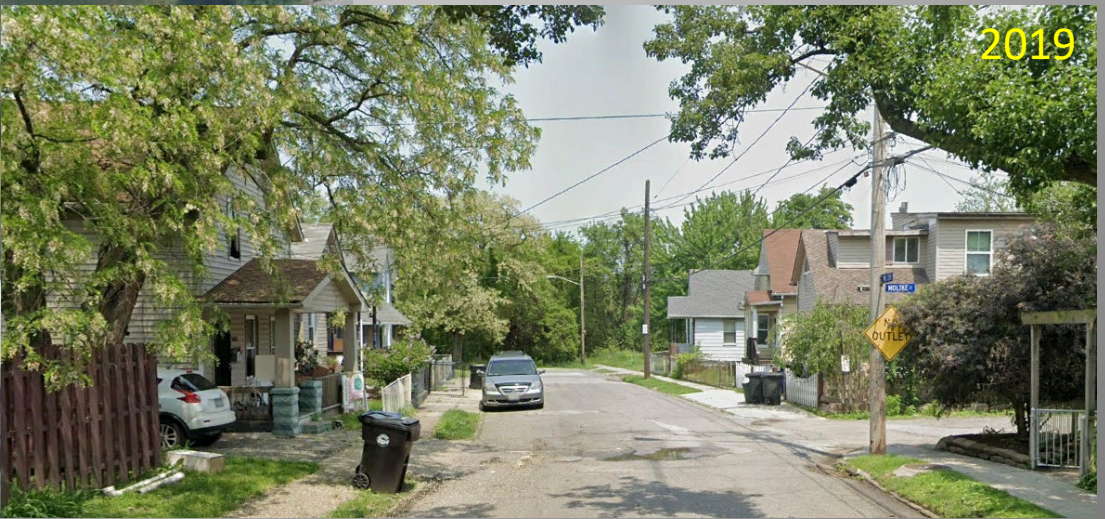
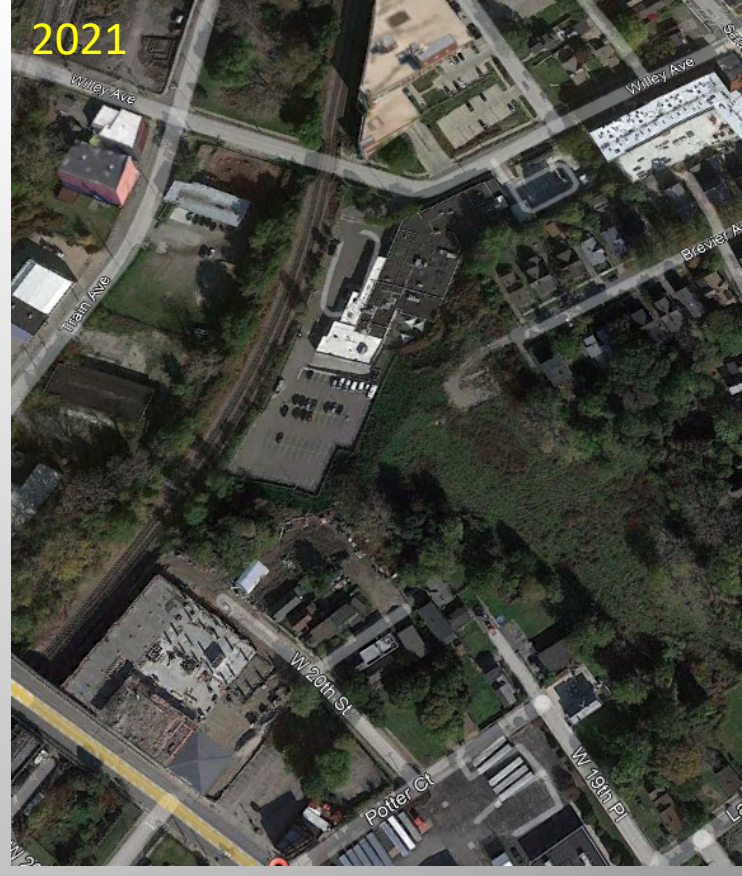
Purpose

- To ensure new proposed development is buildable as approved by City Planning Commission
- Without a specific mapped setback, building would need to be setback 15% of the average depth of the lot. BZA does not have the authority to grant a front yard setback variance (no other building(s) make up 20% of aggregate street frontage on block – proposing demolition of existing)
- To prevent a Split-zoning issue once lots are consolidated

2017



2021



2019

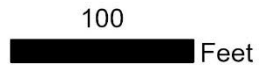


Current Zoning
Proposed Zoning
 Limited Retail Business- G2
 0' Specific Mapped Setback



Map Change 2659

Changing the Use, Area, & Height Districts of parcels of land east of West 25th Street and adding a zero (0) foot Specific mapped Setback on the easterly side of West 20th street and the northerly side of Moltke Ct

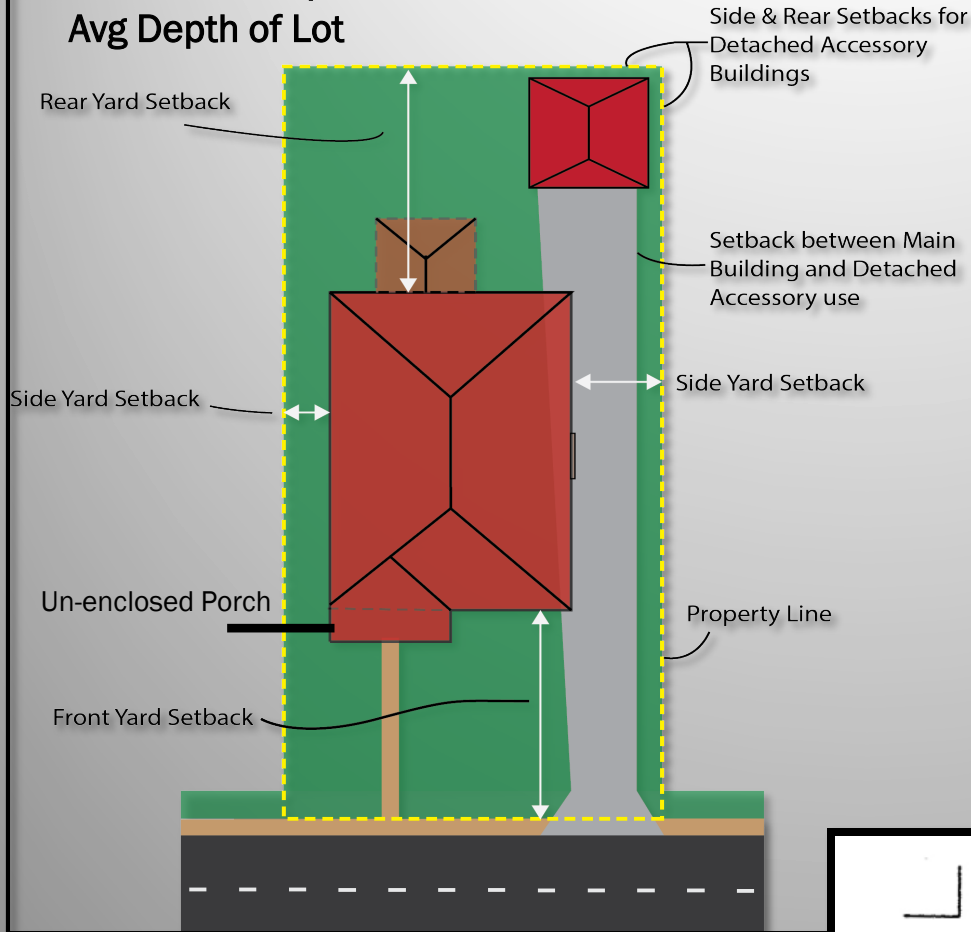


Maxar, Microsoft



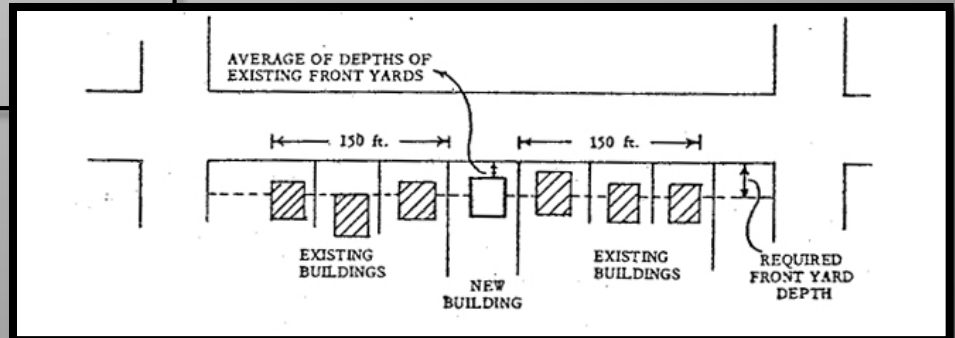
Residential Yard (Setback) Requirements

Front Yard Req = 15 % of Avg Depth of Lot



Front, Rear & Side Yard Setbacks Required for all Main Buildings in Residential Districts or Residential Buildings in Any District

Map Change 2659



Alignment with existing

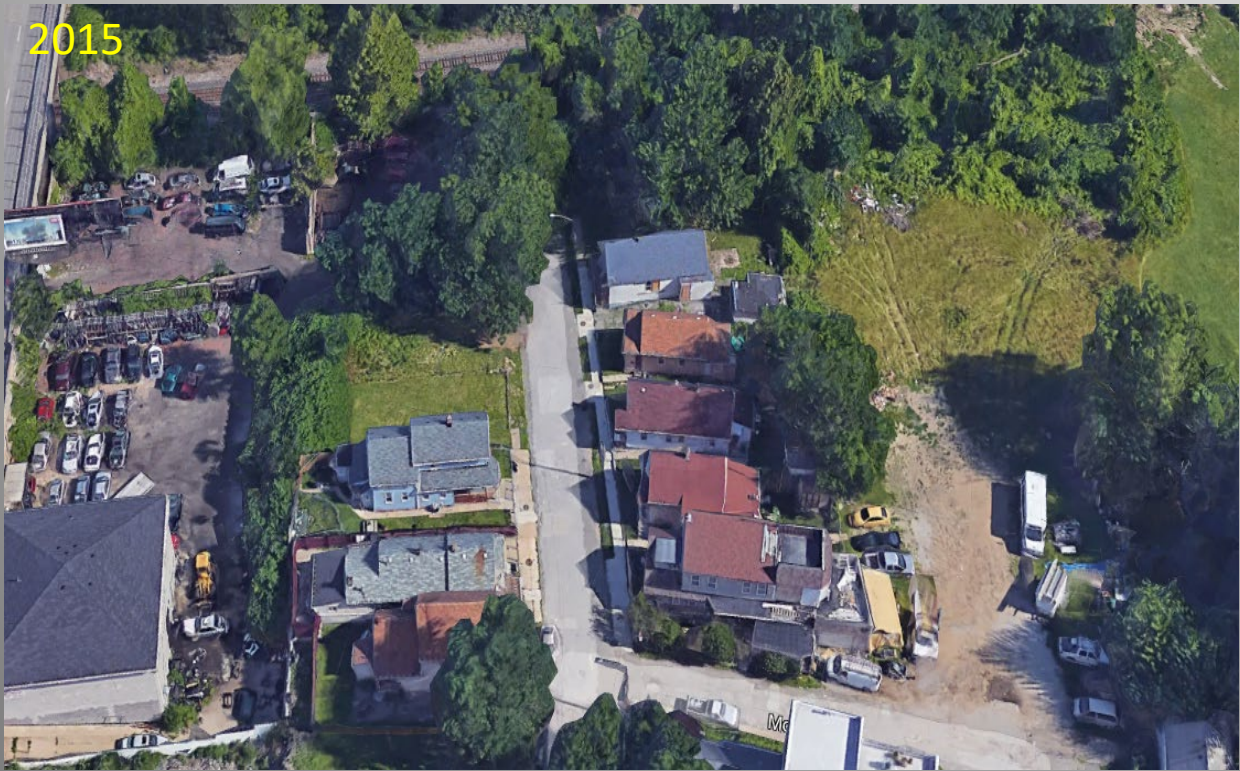
2009



2019



2015



2021



Mapped Setbacks

A required front yard space in which no structures may be located, except where specifically allowed by Cleveland Zoning Code

Indicated on Building Zone Maps of the City as from either the property line or the street centerline

Take precedence over all other setback regulations

Can only be changed with legislation



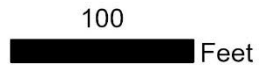
Current Zoning
Proposed Zoning
 Limited Retail Business- G2
 0' Specific Mapped Setback




cleveland
 city planning
 commission
 Date: November 8, 2022

Map Change 2659

Changing the Use, Area, & Height Districts
 of parcels of land east of West 25th Street
 and adding a zero (0) foot Specific mapped Setback
 on the easterly side of West 20th street and the northerly side of Moltke Ct



Maxar, Microsoft

Cleveland City Planning Commission

Lot Consolidation / Splits



November 18, 2022

Lot Consolidation / Split

November 18, 2022



For PPNs# 003-30-122 & -123

Project Addresses: 4110 & 4114 John Avenue

Project Representative: Tyler Renners, Esq.

John Avenue Vacant Lot Lot Split/Consolidation

Permanent Parcel No. 003-30-123

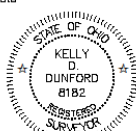


CERTIFICATION:

This survey meets the minimum standards for boundary surveys in the State of Ohio as set forth in Ohio Administrative Code Chapter 4733-37.

Kelly D. Dunford 9/14/22 Date
 Kelly D. Dunford
 Ohio Professional Surveyor S-8182

Date of Survey: June of 2022
 Revisions:
 1.) County Tax Map & City Survey
 Dept. Review Comments - 9/08/22



**MAP OF LOT SPLIT
& CONSOLIDATION**

for
**S.C. Mott, H. Wilde, C. Wolverton
& 4110/4114 John Ave., LLC**
John Ave., Cleveland, OH 44113

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio: And known as being all of Sublot 683 and part of Sublot 684 in the Barber and Lord's Subdivision, of part of Original Brooklyn Township Lot No. 52, as recorded in Plat Volume 11, Page 26 (1840). Also known as being all of Parcels A & B of Plat of Lot Split recorded in AFN #201906240346 (2019).

OWNER'S ACCEPTANCE:

We, the undersigned owners of the land shown hereon, do hereby accept this lot split & consolidation and plat shown.

Stephen C. Mott, Owner _____ Date
 PPN 003-30-123

Hanna Wilde, Owner _____ Date
 PPN 003-30-123, 003-30-110 & 003-30-079

Giara Wolverton, Owner _____ Date
 PPN 003-30-123, 003-30-110 & 003-30-079

Stephen C. Mott, Manager & Principle _____ Date
 4110/4114 John Ave., LLC
 PPN 003-30-122

State of Ohio
 Cuyahoga County SS

Before me a notary public in and for said County and State, personally appeared the above named owners, who acknowledged the making of the foregoing instrument and the signing of this plat to be their free act and deed, in testimony whereof I have hereunto set my hand and affixed my official seal at _____, Ohio, this ____ day of _____, 2022.

Notary Public

BASIS OF BEARINGS:

The "BASIS OF BEARINGS" for this survey is GRID NORTH of the Ohio State Plane, North Zone as observed by GPS via the ODOT VRS network, based on the NAD83 (2011) reference frame, 2010.0 epoch.

ALL DISTANCES SHOWN HEREON INDICATE GROUND DISTANCES IN US SURVEY FEET.

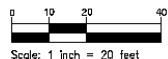
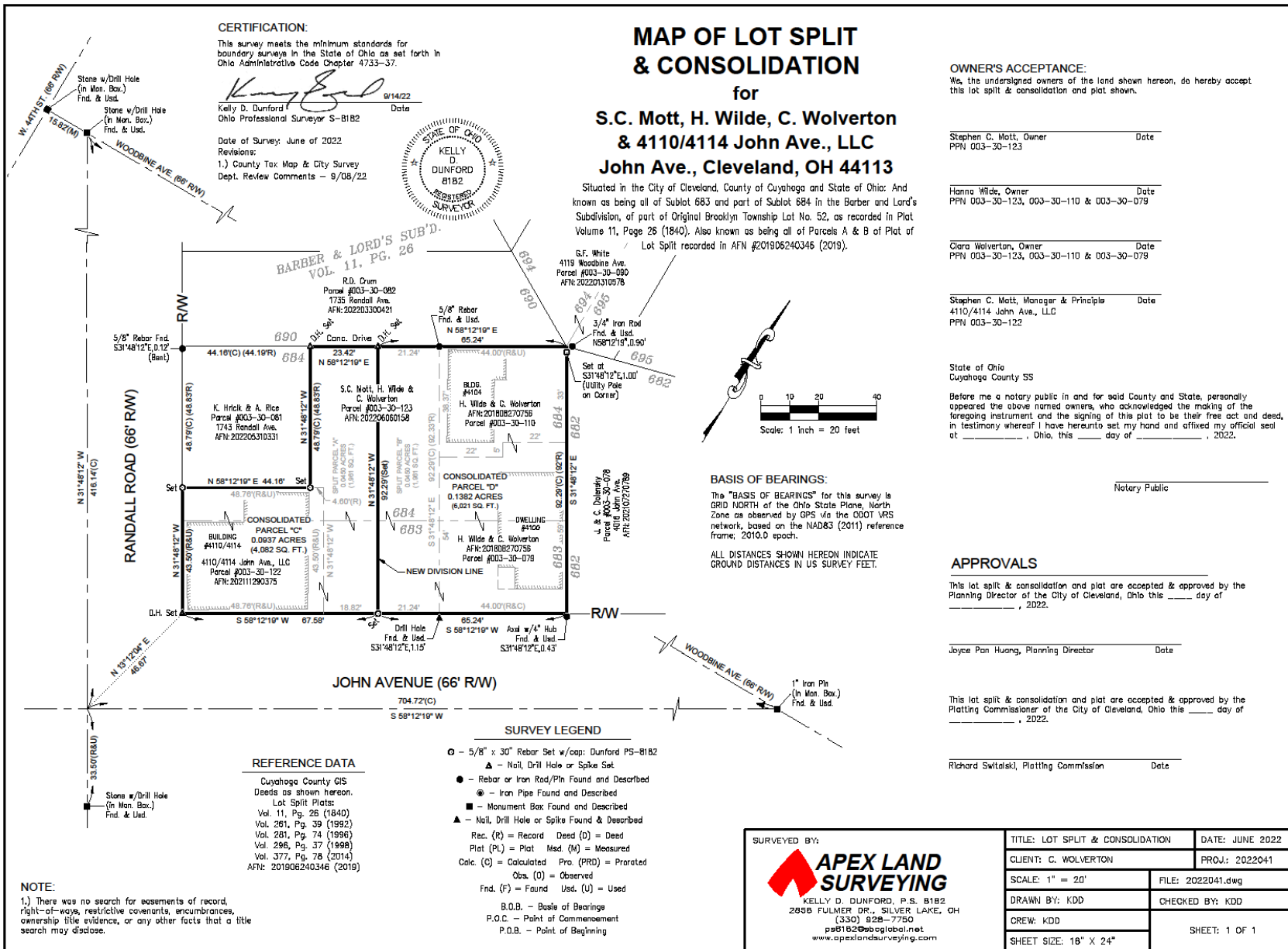
APPROVALS

This lot split & consolidation and plat are accepted & approved by the Planning Director of the City of Cleveland, Ohio this ____ day of _____, 2022.

Joyce Pan Huang, Planning Director _____ Date

This lot split & consolidation and plat are accepted & approved by the Planning Commissioner of the City of Cleveland, Ohio this ____ day of _____, 2022.

Richard Switalski, Planning Commission _____ Date



REFERENCE DATA

Cuyahoga County GIS
 Deeds as shown hereon.
 Lot Split Plats:
 Vol. 11, Pg. 26 (1840)
 Vol. 261, Pg. 39 (1992)
 Vol. 281, Pg. 74 (1996)
 Vol. 296, Pg. 37 (1998)
 Vol. 377, Pg. 78 (2014)
 AFN: 201906240346 (2019)

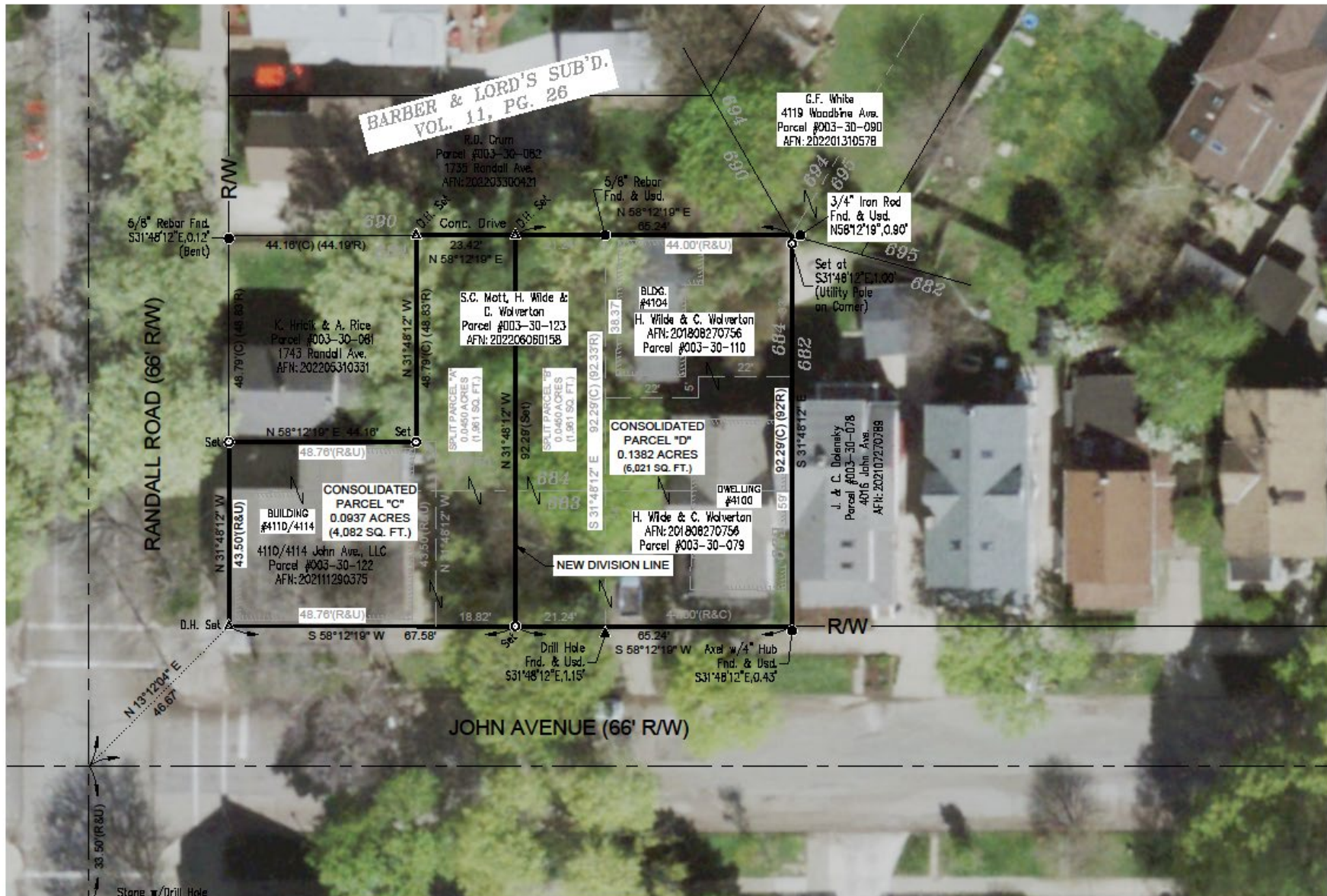
SURVEY LEGEND

- - 5/8" x 30" Rebar Set w/cap: Dunford PS-8182
- ▲ - Nail, Drill Hole or Spike Set
- - Rebar or Iron Rod/Pin Found and Described
- ⊙ - Iron Pipe Found and Described
- - Monument Box Found and Described
- ▲ - Nail, Drill Hole or Spike Found & Described
- Rec. (R) = Record Deed (D) = Deed
- Plat (PL) = Plat Msd. (M) = Measured
- Calc. (C) = Calculated Pro. (PRD) = Prorated
- Obs. (O) = Observed
- Fnd. (F) = Found Usd. (U) = Used
- B.O.B. - Basis of Bearings
- P.O.C. - Point of Commencement
- P.D.B. - Point of Beginning

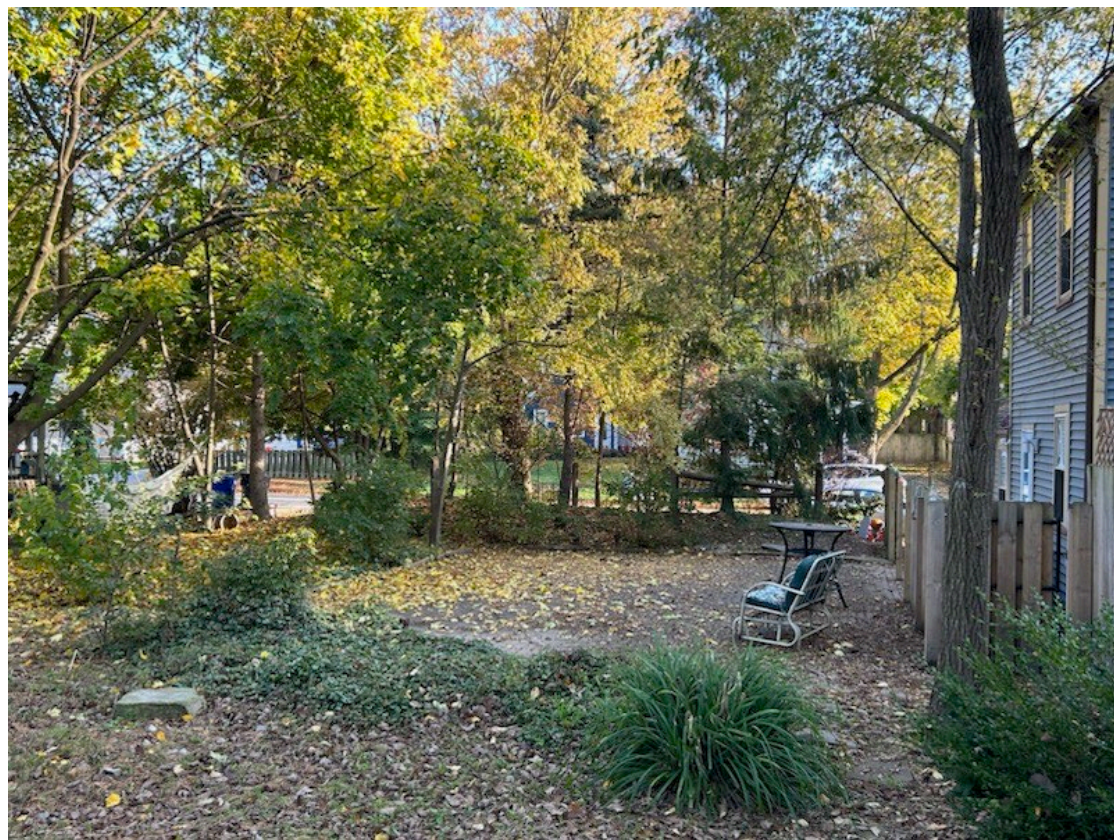
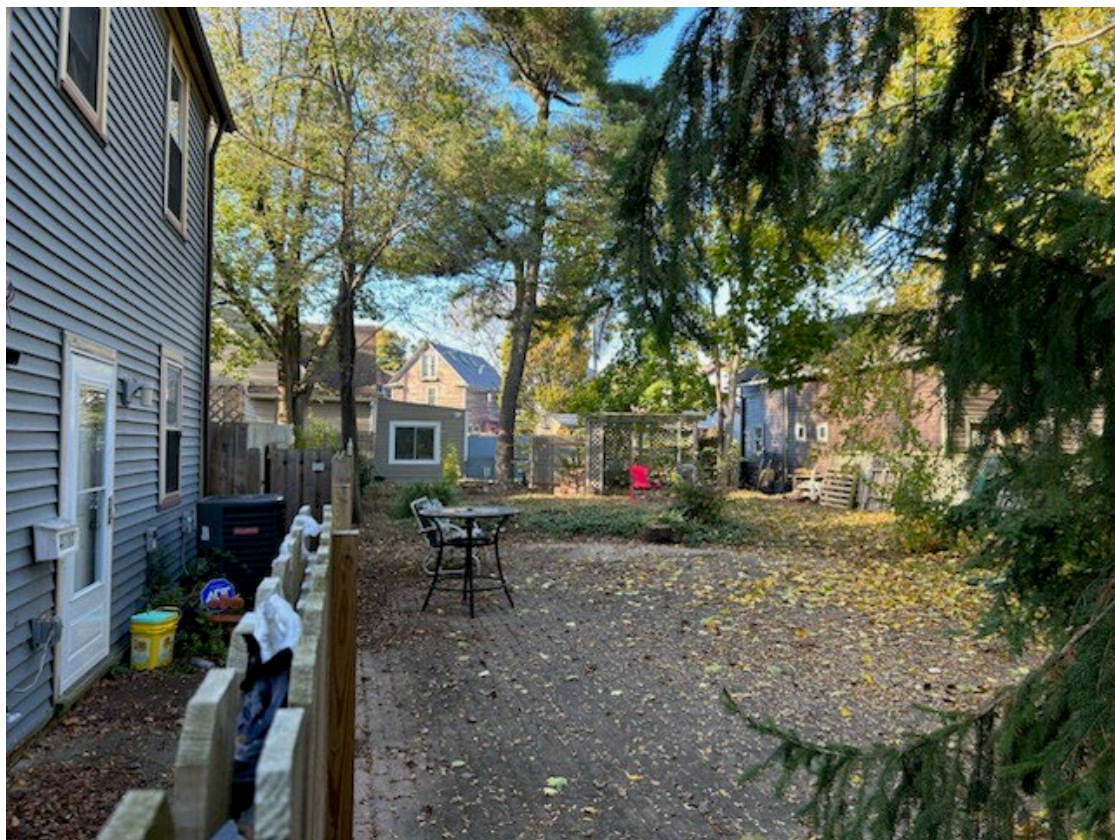
NOTE:

1.) There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

SURVEYED BY: KELLY D. DUNFORD, P.S. 8182 2858 FULMER DR., SILVER LAKE, OH (330) 928-7750 ps8182@apexlandsurveying.com www.apexlandsurveying.com	TITLE: LOT SPLIT & CONSOLIDATION	DATE: JUNE 2022
	CLIENT: C. WOLVERTON	PROJ.: 2022041
	SCALE: 1" = 20'	FILE: 2022041.dwg
	DRAWN BY: KDD	CHECKED BY: KDD
	SHEET SIZE: 18" X 24"	SHEET: 1 OF 1









Cleveland City Planning Commission

New Townhouse Development In a 2-Family District



November 18, 2022

Townhouse Development in a 2-Family District



November 18, 2022

For PPNs# 007-09-112 & -111

Project Address: 2211 West 30th Street

Project Representative: Paul Beegan, Beegan Architectural Design

NW2022-043 – West 30th Townhomes Phase 1 New Construction:
Seeking Conceptual Approval

Project Address: 2211 West 30th Street

Project Representative: Paul Beegan, Beegan Architectural Design

Committee Recommendation: Approved with **Conditions:**

Conditions

1. Reduce the guest parking in the rear by 1/2, create outdoor space

Recommendations:

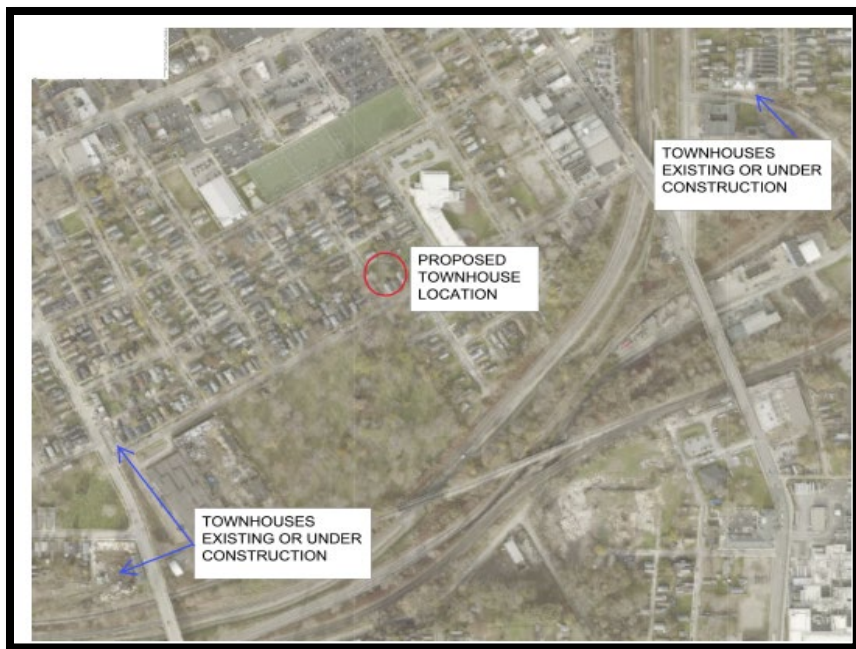
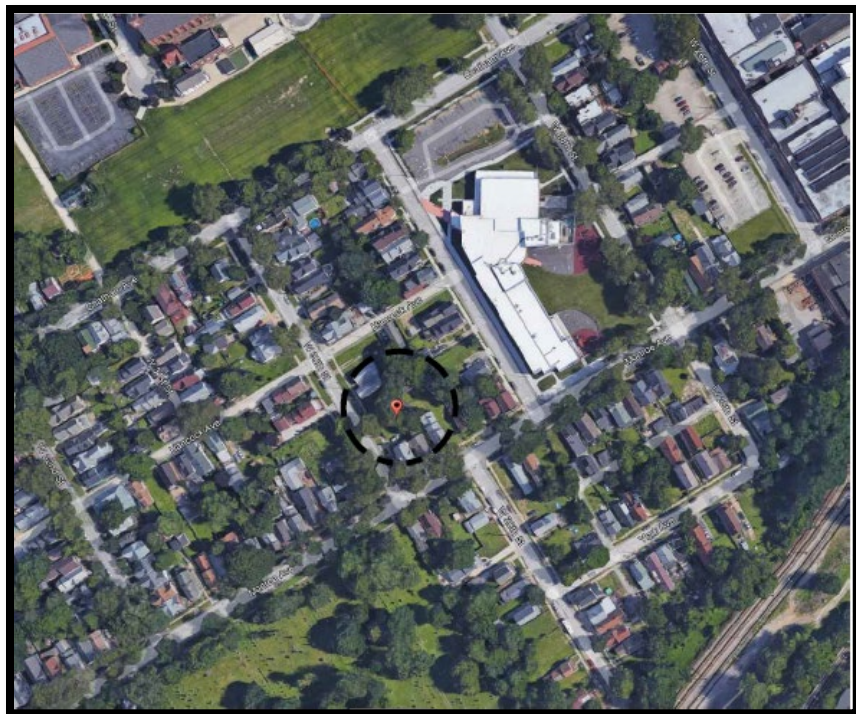
1. Create more usable outdoor space via an enhanced frontage feature: a larger stoop, a full front porch, or some other manifestation of usable outdoor space.
2. Study how to reduce the height of the homes along West 30th

2211 West 30th Street

City Planning Commission Hearing
November 18, 2022



- **Per §337.031(h)(2):** In any zoning district where a townhouse use is not permitted by right (ex. Single Family, Two (2) Family), *the City Planning Commission* shall determine, based on the application of division (e) of this section, if a townhouse use shall be permitted through a **CONDITIONAL USE**



- **Parcels are located in a Two-Family Residential District** fronting West 30th Street

- (e)
 - Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



EAST ON MONROE



West on Monroe



30TH AND HANCOCK



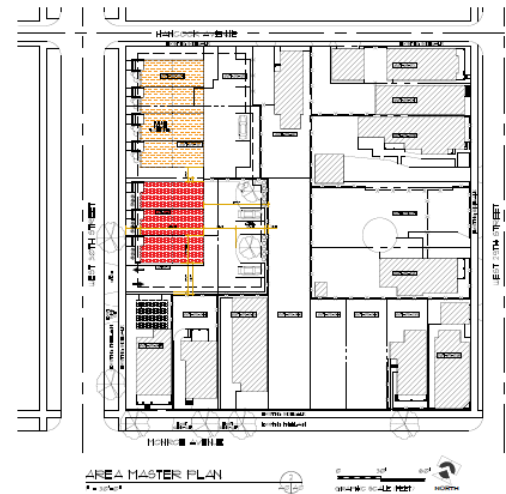
2230 W. 30TH

- (e)
 - Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



- (e)
 - Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space?

2211 West 30th Street



ISSUE	DATE	DESCRIPTION
1	08.30.22	design review
2	10.24.22	HDRS
3	11.18.22	City Planning Commission



BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216.521.9000 PHONE
LAKERSIDE, OHIO 44107 216.516.4017 FAX
WWW.BEEGAN-AD.COM PAUL@BEEGAN-AD.COM



project no. 22-040

Berges Home Performance
2211 W. 30th Street

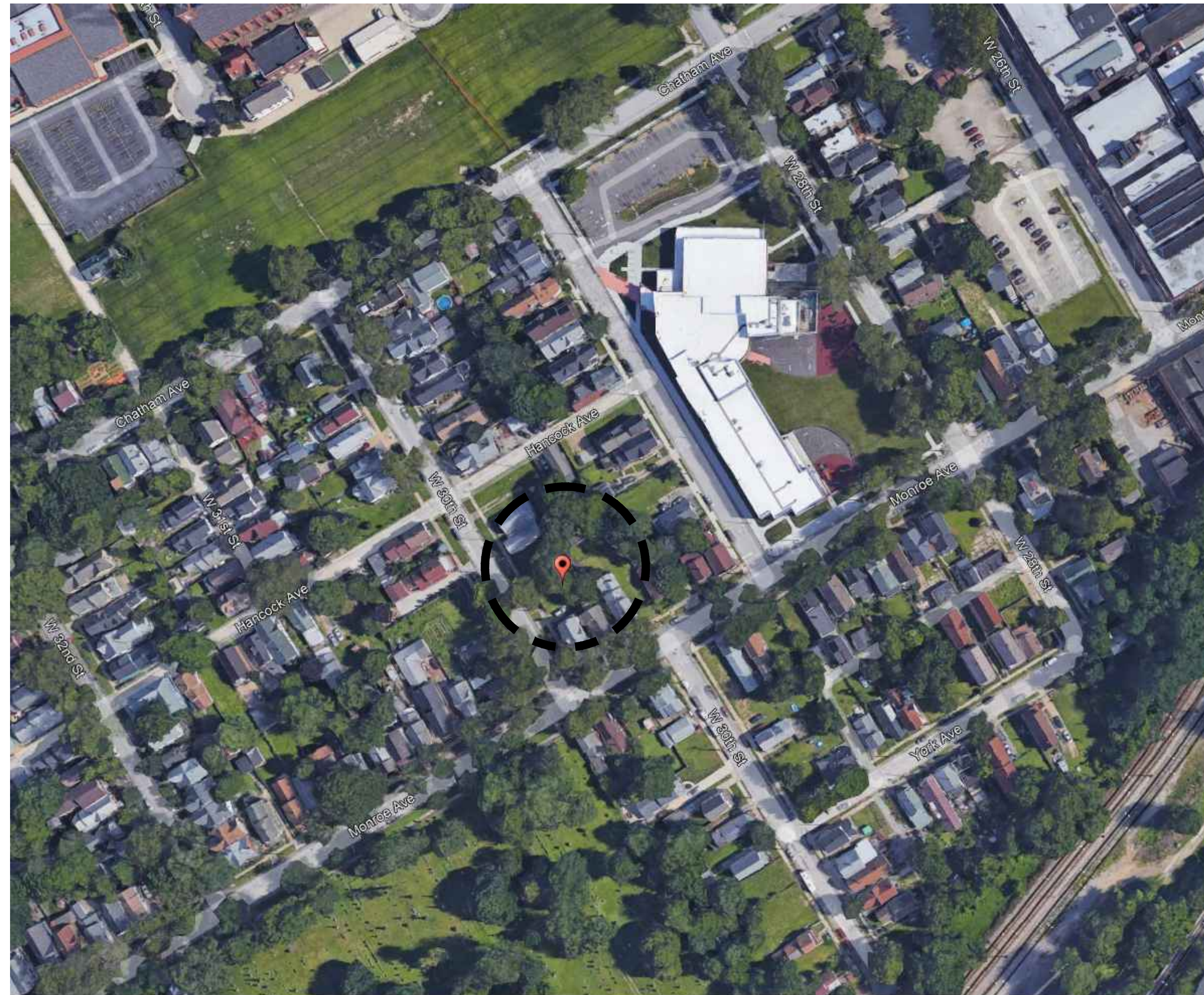
2211 W. 30th Street
Cleveland, OH 44113

ARCHITECTURAL SITE
MAP, RENDERING
AND EXTG CONDITIONS

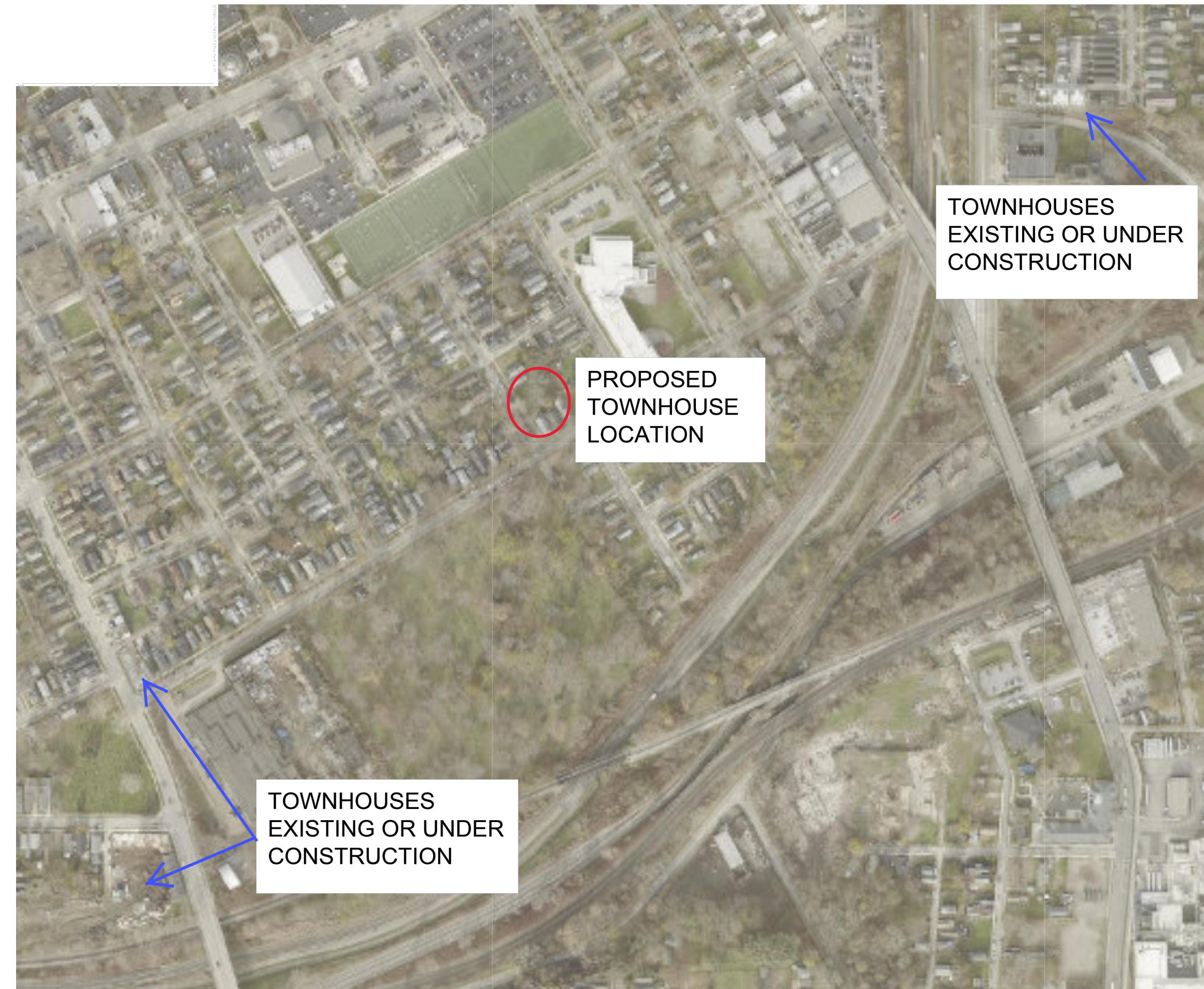
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2211 West 30th Street

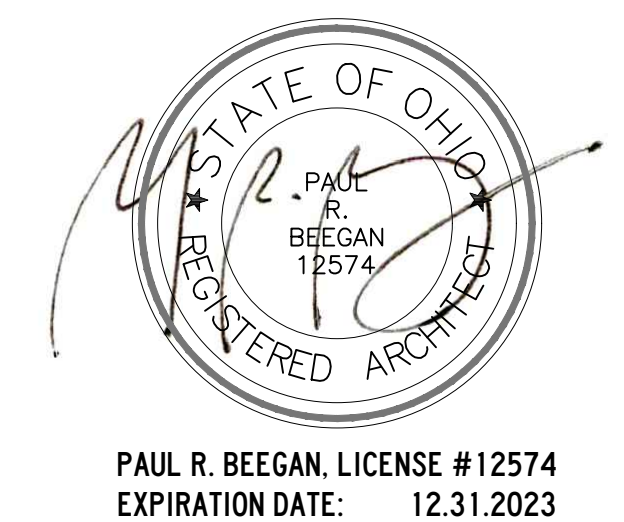
ISSUE	DATE	DESCRIPTION
1	08.30.22	design review
2	10.24.22	HDRS
3	11.18.22	City Planning Commison



SITE LOCATION MAP
N.T.S.



SITE LOCATION MAP
N.T.S.



BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE
LAKEWOOD, OHIO 44107
WWW.BEEGAN-AD.COM

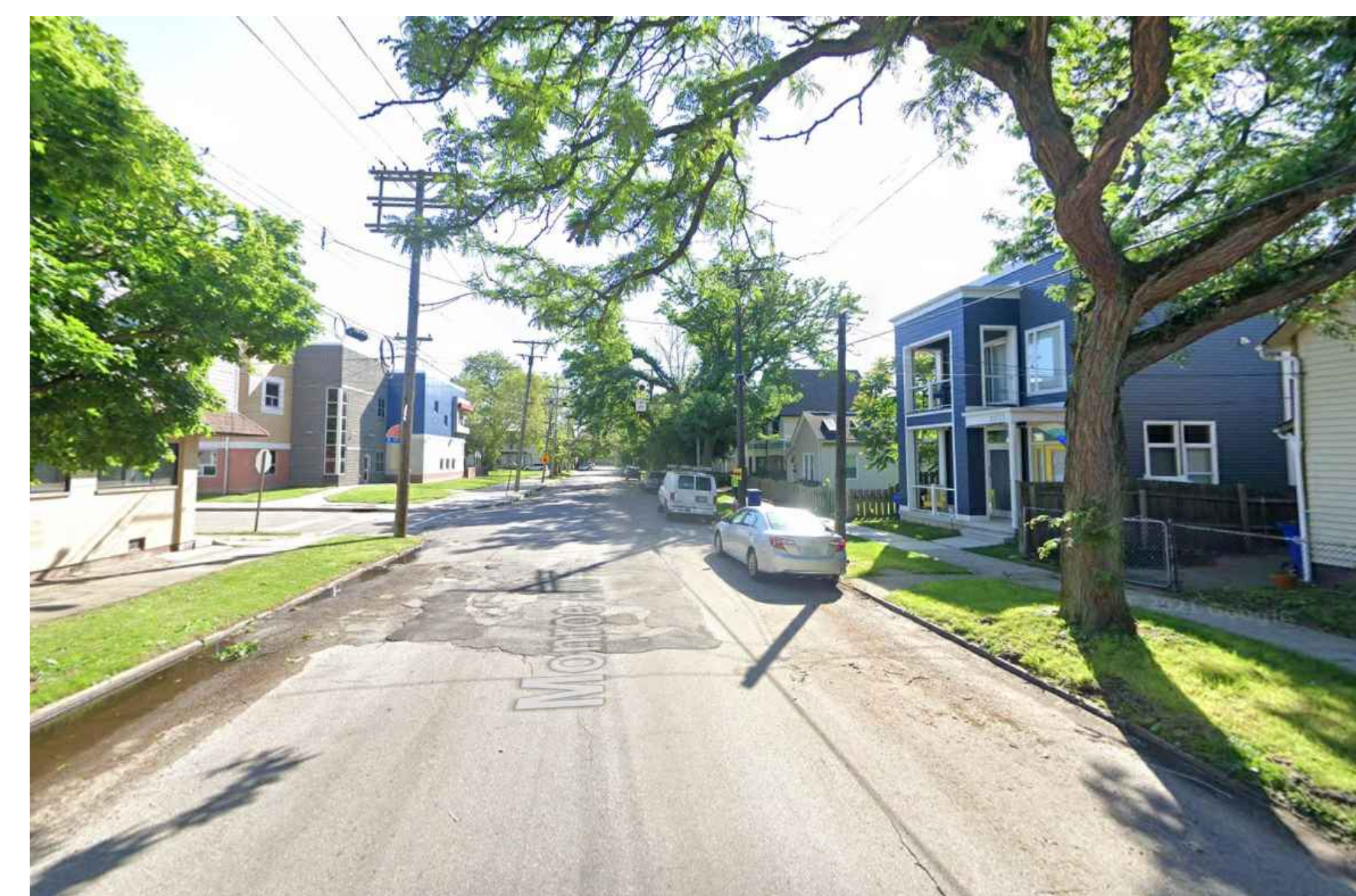
216.521.9000 PHONE
216.916.4591 FAX
PAUL@BEEGAN-AD.COM



FULTON AND TRAIN
N.T.S.



FULTON AND MONROE
N.T.S.



EAST ON MONROE
N.T.S.

project no. 22-040

Berges Home Performance
2211 W. 30th Street

2211 w. 30th street
cleveland, oh 44113

Location Map
and Existing Conditions

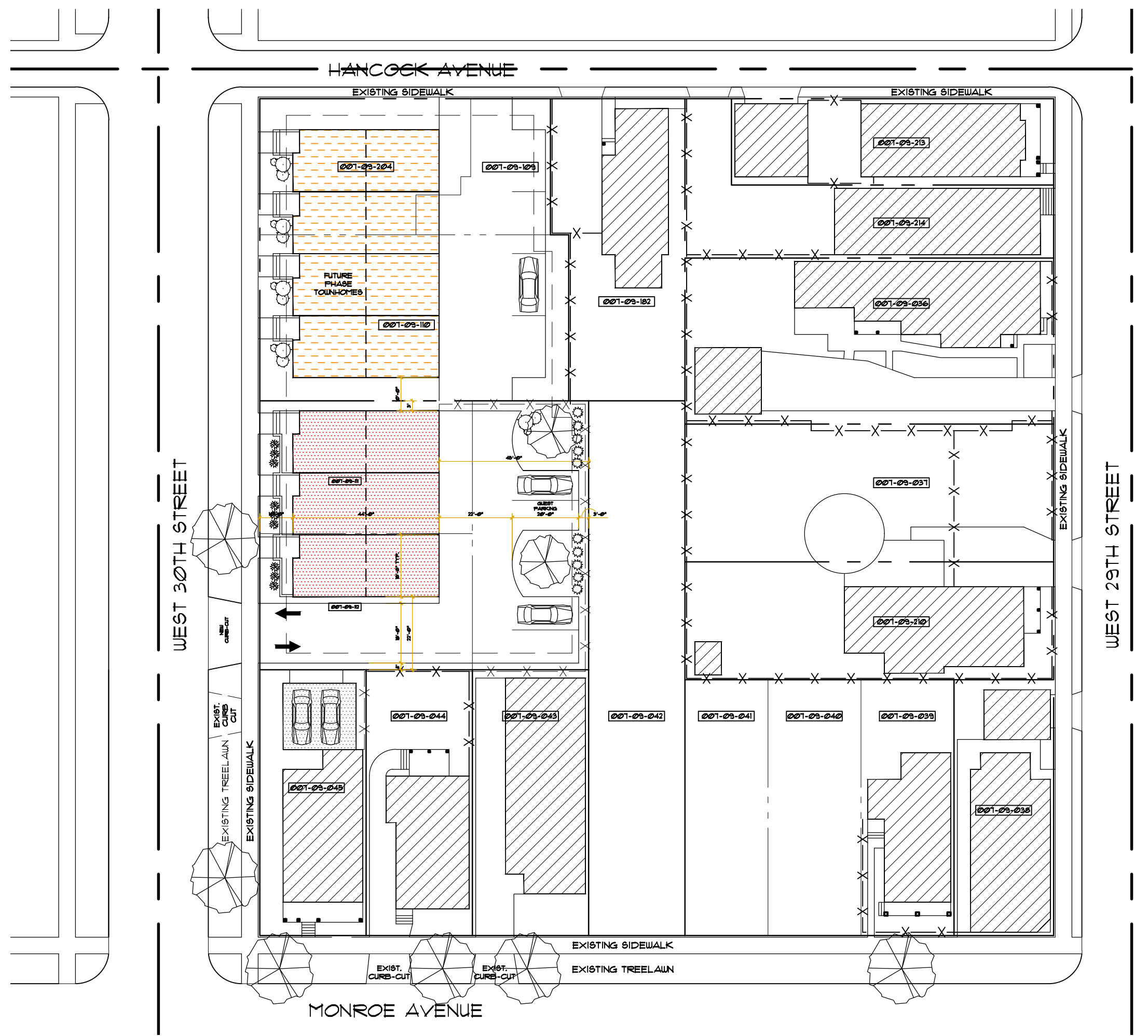
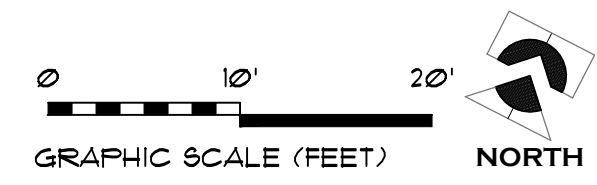
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2211 West 30th Street

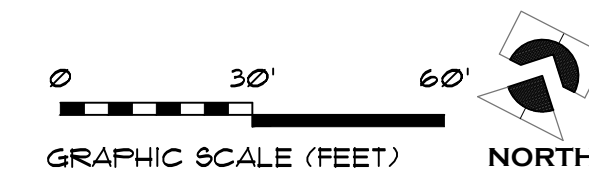
ISSUE	DATE	DESCRIPTION
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2	10.24.22	HDRS
3	11.18.22	City Planning Commison



ARCHITECTURAL SITE PLAN
1" = 10'-0"



AREA MASTER PLAN
1" = 30'-0"



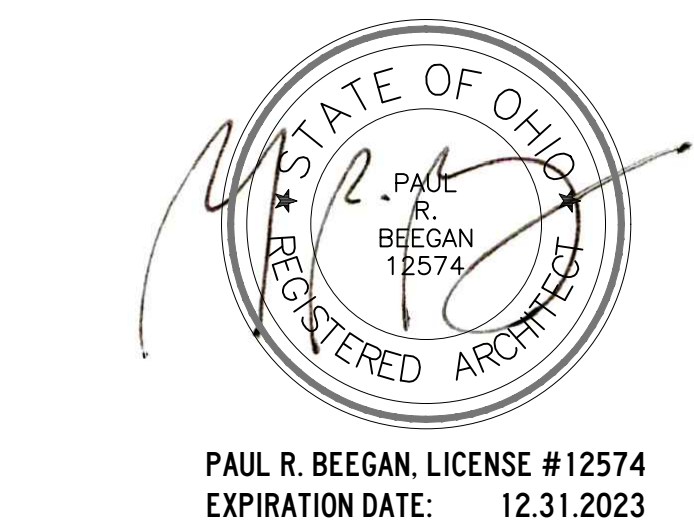
EXTERIOR RENDERING
N.T.S.



30TH AND HANCOCK
N.T.S.



2230 W. 30TH
N.T.S.



BEEGAN ARCHITECTURAL DESIGN

15703 MADISON AVENUE
LAKEWOOD, OHIO 44107
WWW.BEEGAN-AD.COM

216.521.9000 PHONE
216.916.4591 FAX
PAUL@BEEGAN-AD.COM

project no. 22-040

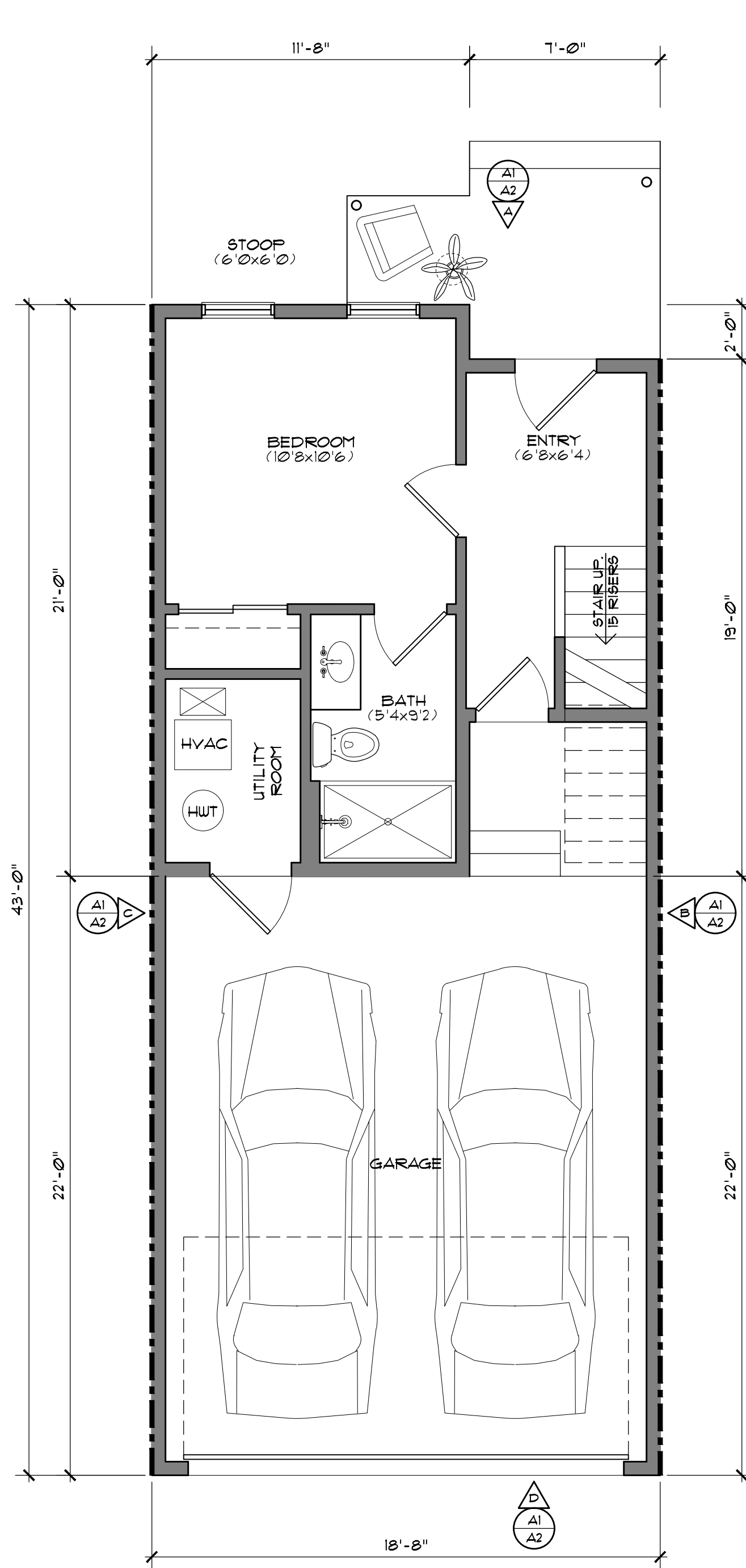
**Berges Home Performance
2211 W. 30th Street**

2211 w. 30th street
cleveland, oh 44113

ARCHITECTURAL SITE
MAP, RENDERING
AND EXTG CONDITIONS

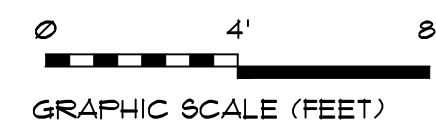
A1

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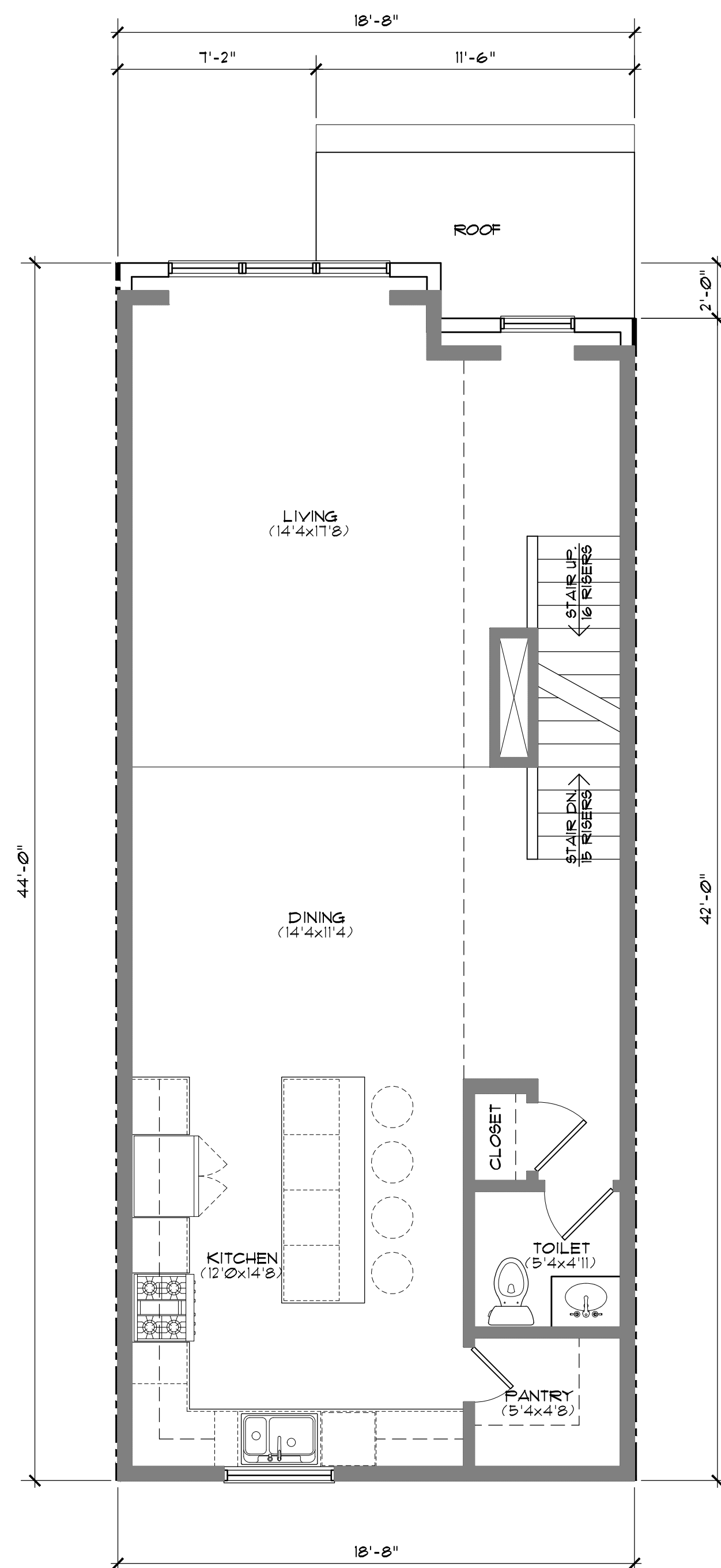


FIRST FLOOR PLAN

1/4" = 1'-0"

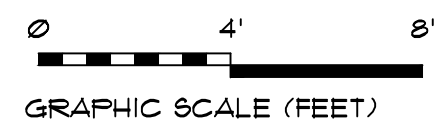


GRAPHIC SCALE (FEET)

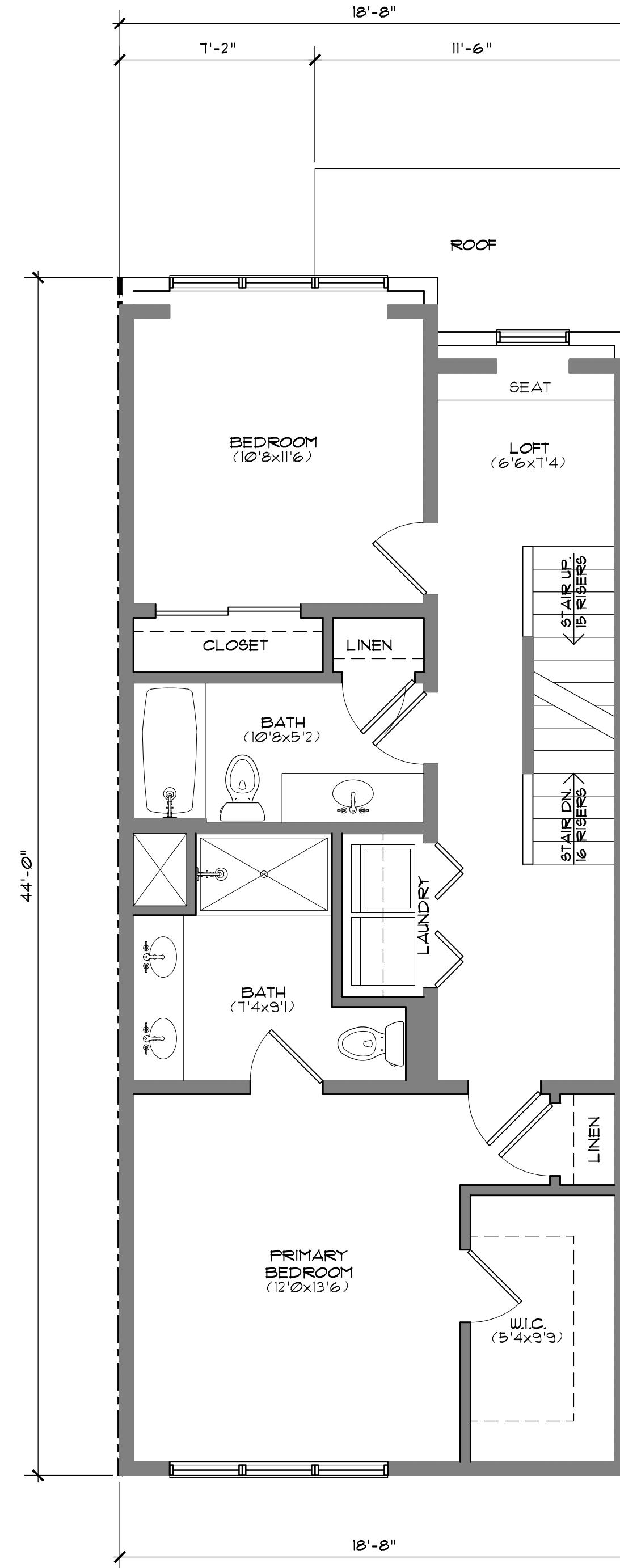


SECOND FLOOR PLAN

1/4" = 1'-0"

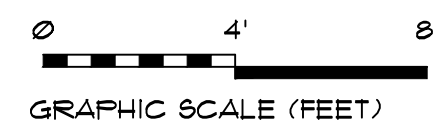


GRAPHIC SCALE (FEET)

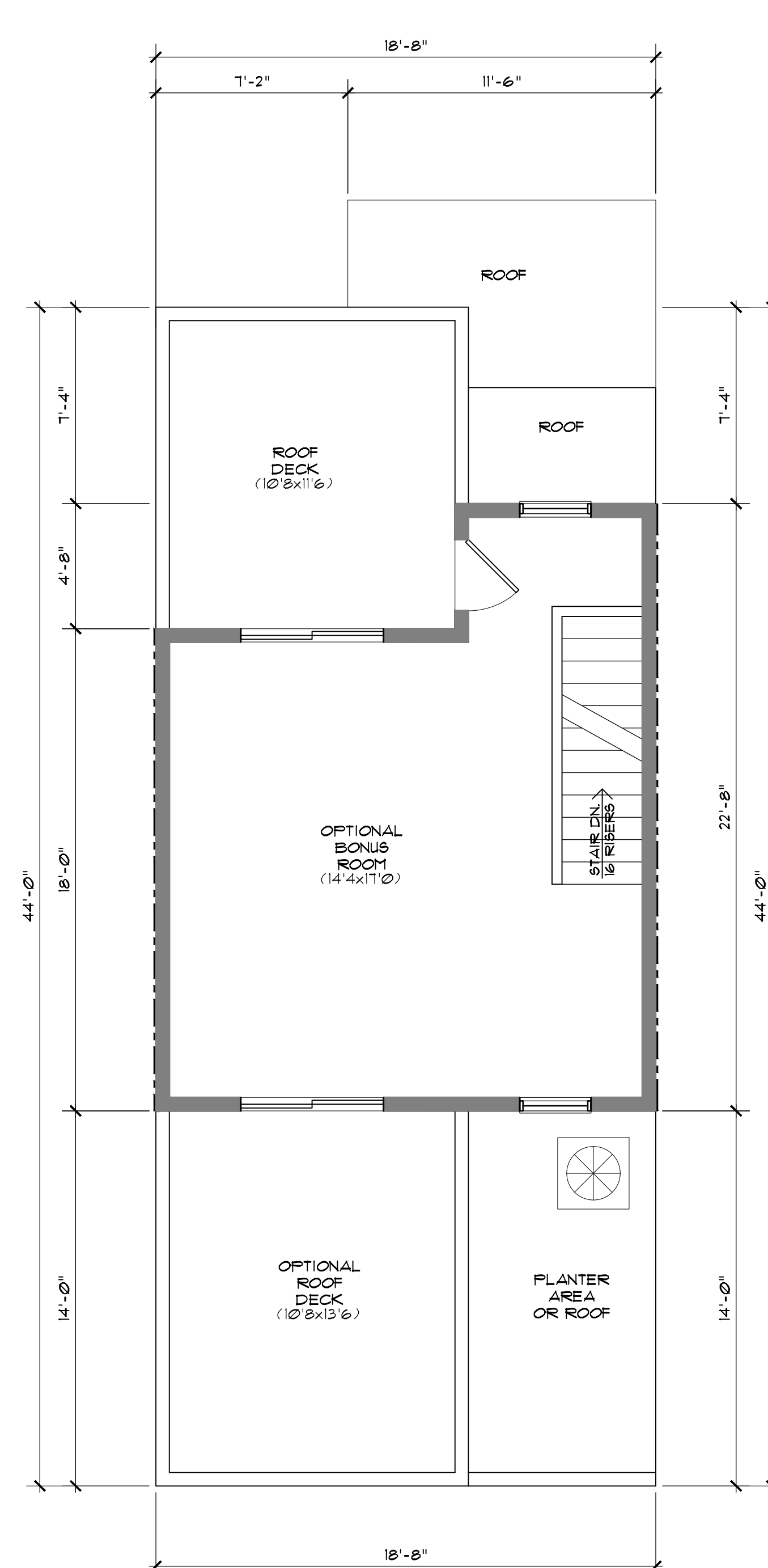
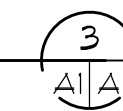


THIRD FLOOR PLAN

1/4" = 1'-0"



GRAPHIC SCALE (FEET)

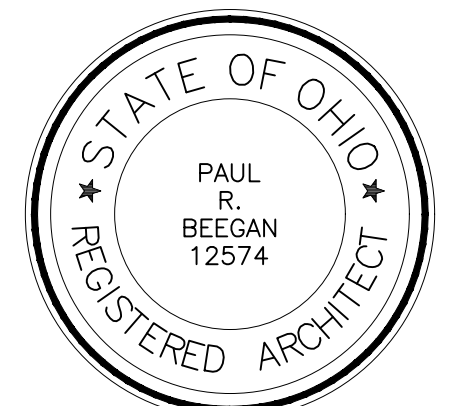
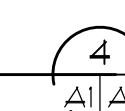


ROOF LEVEL PLAN

1/4" = 1'-0"



GRAPHIC SCALE (FEET)



PAUL R. BEEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2023

BEEGAN

ARCHITECTURAL DESIGN

15703 MADISON AVENUE
LAKEWOOD, OHIO 44107
WWW.BEEGAN-AD.COM

216.521.9000 PHONE
216.916.4591 FAX
PAUL@BEEGAN-AD.COM

project no. 22-040

Berges Home Performance
2211 W. 30th Street

2211 w. 30th street
cleveland, oh 44113

Floor Plans

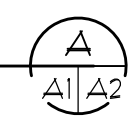
A2

ISSUE	DATE	DESCRIPTION
1	09.09.22	design review
2	10.21.22	HDRS
3	11.18.22	City Planning Commission



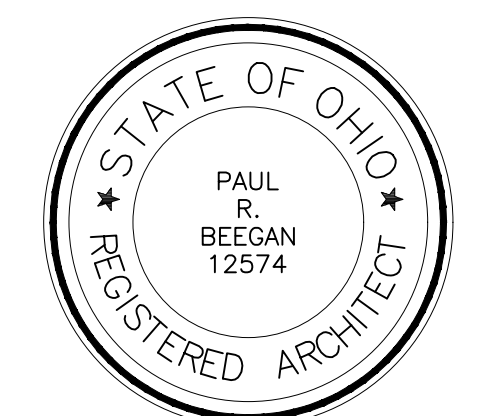
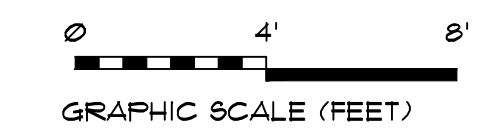
FRONT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



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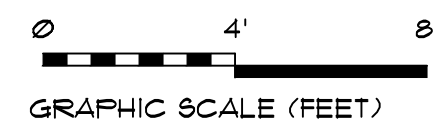
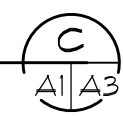
Exterior Elevations

A3

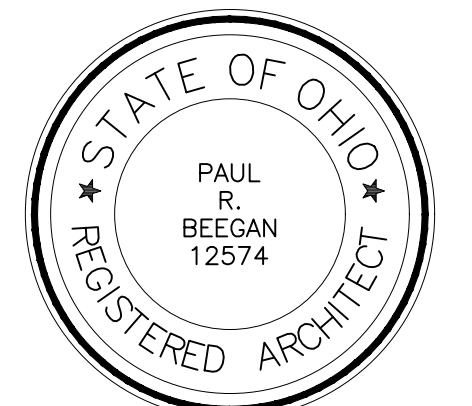
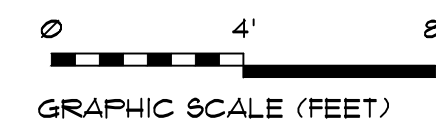
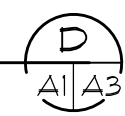
ISSUE	DATE	DESCRIPTION
1	09.09.22	design review
2	10.21.22	HDRS
3	11.18.22	City Planning Commission



LEFT ELEVATION
1/4" = 1'-0"



BACK ELEVATION
1/4" = 1'-0"



PAUL R. BEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2023

BEEGAN

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LAKEWOOD, OHIO 44107
WWW.BEEGAN-AD.COM

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PAUL@BEEGAN-AD.COM

project no. 22-040

Berges Home Performance

2211 W. 30th Street

2211 w. 30th street
cleveland, oh 44113

Exterior Elevations

A4



Committee Recommendation: Approved with **Conditions:**

Conditions

1. Reduce the guest parking in the rear by 1/2, create outdoor space

Recommendations:

1. Create more usable outdoor space via an enhanced frontage feature: a larger stoop, a full front porch, or some other manifestation of usable outdoor space.
2. Study how to reduce the height of the homes along West 30th

Cleveland City Planning Commission

Design Review Cases



November 18, 2022

EC2022-014 – Chester 82 Apartments New Construction:
Seeking Schematic Design Approval

Project Address: 1898 East 82nd Street

Project Representative: Lynn Harlan, Marous Development Group

Committee Recommendation: Approved with Conditions:

Address zoning requirements including:

1. Inactive first floor use, where parking is allowed
2. Lack of amenity space on site
3. Landscape material in parking lot
4. Fence height - maximum is 6', proposed is 8'-10'

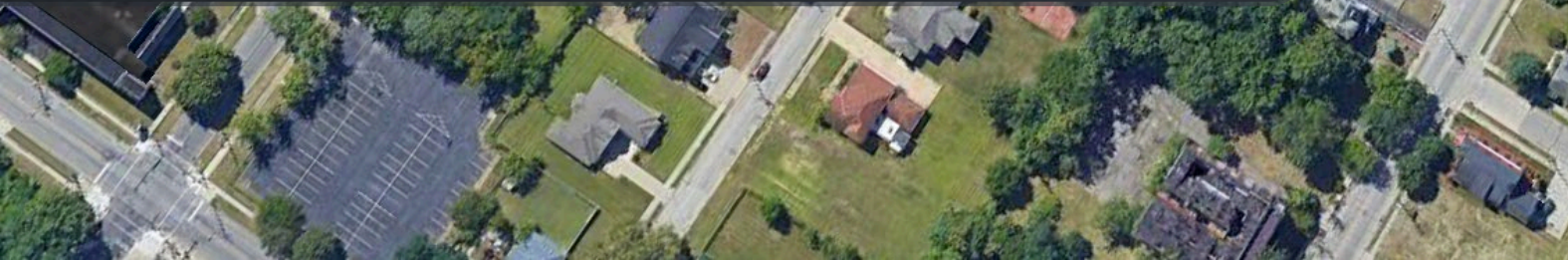
CHESTER 82

CITY PLANNING COMMISSION

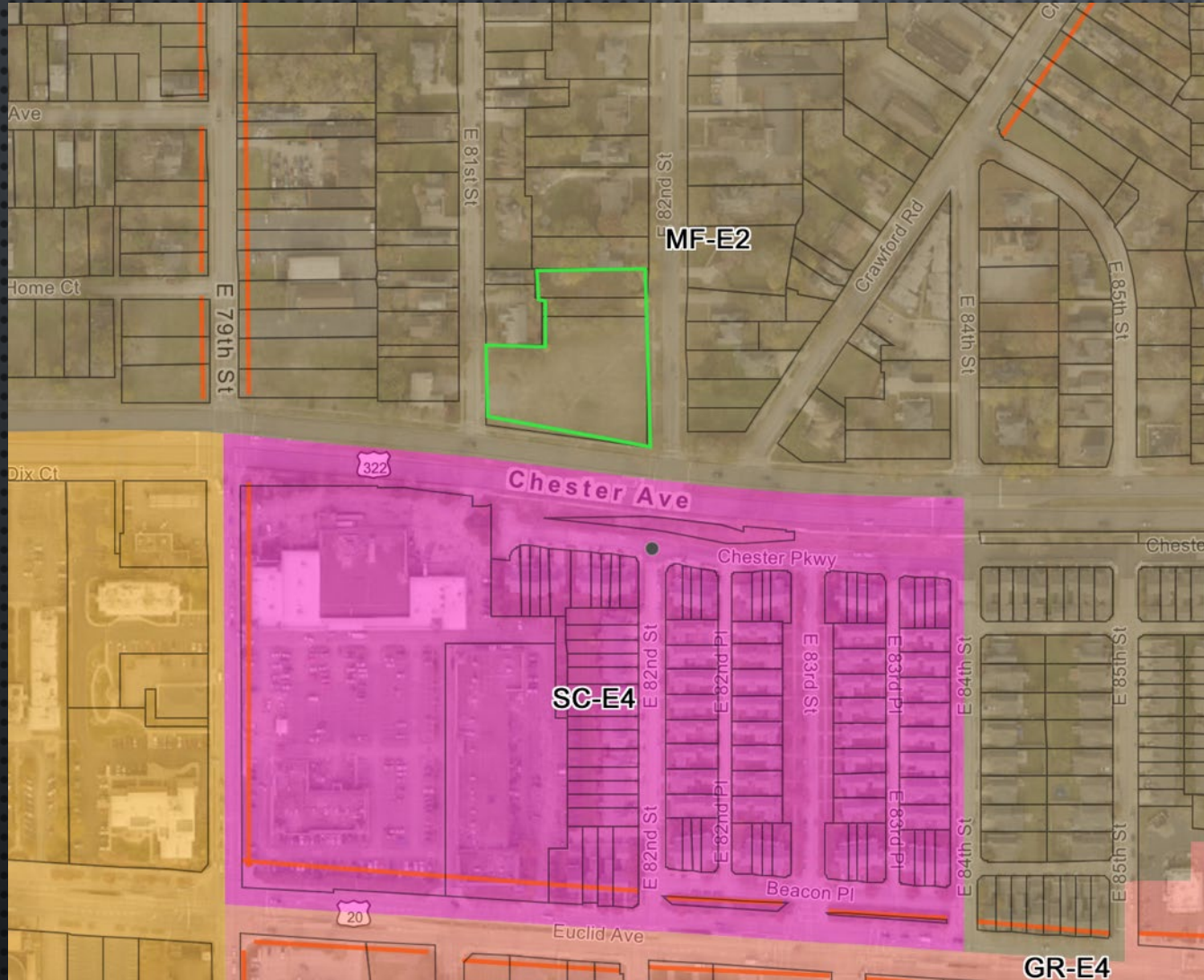
NOVEMBER 18, 2022



EXISTING CONDITIONS



Existing Zoning



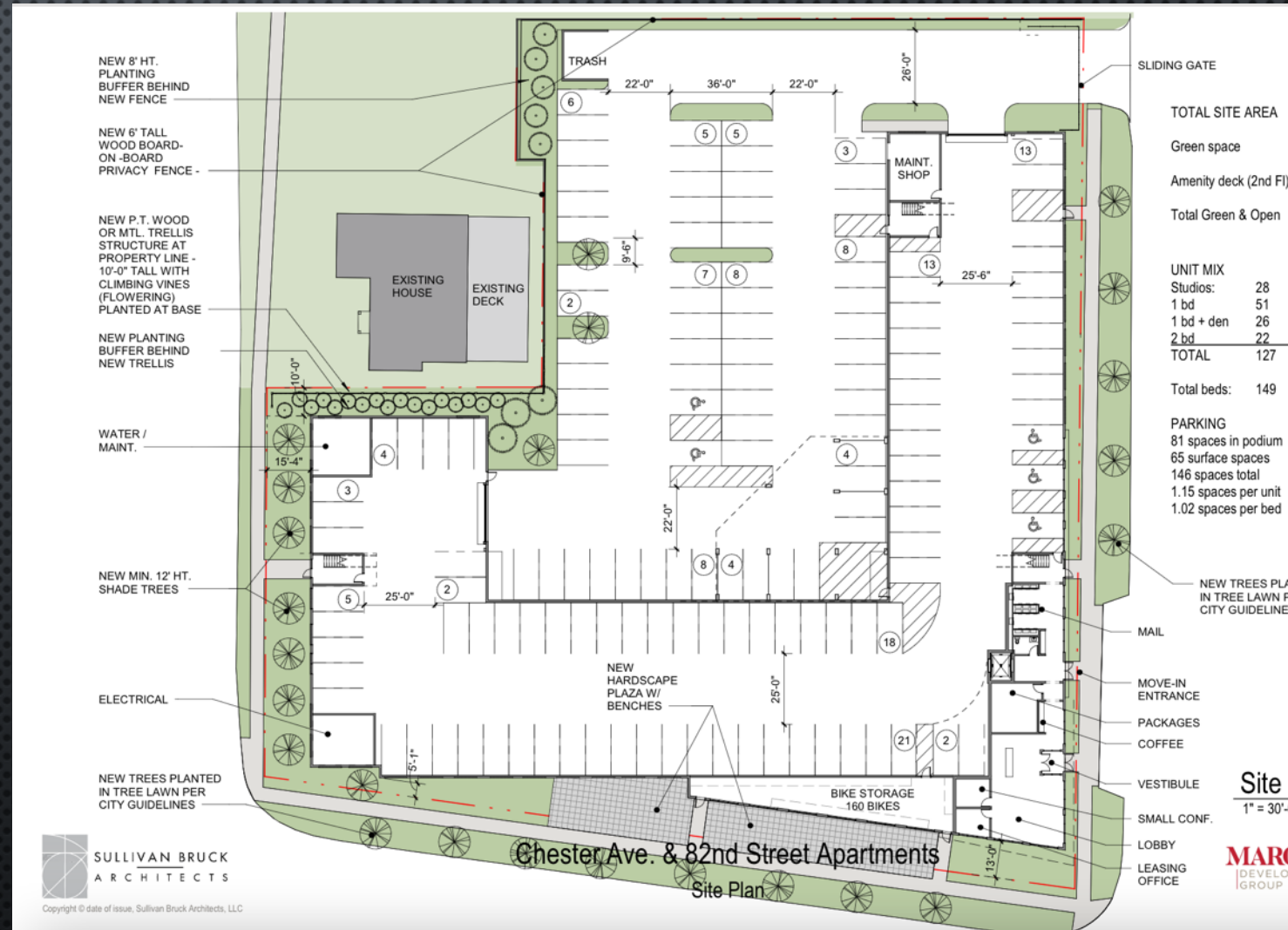
Variances Required:

- Exceeds Maximum gross floor area = $1.5 \times \text{lot size} = 105,415 \text{ sf}$ permitted
- Proposing $121,405 \text{ sf} + 29,000$ garage
- Front yard setback required = 40 feet, proposing 4-6 feet – BZA CAN NOT GRANT
- Rear yard setback = $1/2$ height of main building – or 22 feet, proposing 10 feet.
- Note: 127 units = 127 parking spaces required, exceeds by 19 spaces

Draft FBC (as of 2/22)

Potential Variances Required

- East 82nd – Primary Street boundary line – 5' min/15' maximum setback – would still need variance.
- 50' max Required between street facing entry on E. 82nd and 60' on Chester - corner lot = angled entrance may be used to meet requirements for street facing entrance along both streets.
- Parking & Access: Need proper parking lot landscaping — interior islands with 1 large tree, etc per every 10 spaces
- Active Depth:
 - 15' on primary street – E. 82nd
 - 9' on Chester
 - Parking spaces are not permitted in any portion of required active depth



Draft FBC

Potential Variances Required:

- 10% Amenity Space Required, Landscaping strips does not qualify
 - Sites > 20,000 sf
 - Achieved through common or pedestrian amenity space
 - 7,027 sf required
 - Outdoor amenity space must have a clear height greater than 7.5 feet (roofed must be 1.5 x the depth of roofed area)
 - Common outdoor amenity space must be at least 400 sf
 - Pedestrian amenity space = 1 sf = 2 sf of outdoor amenity space
 - Cannot be in transition area
 - Provide pedestrian amenity space directly from sidewalk



C1	C2	C3	C4
Marous Development Group	CHESTER 82		
Willoughby, Ohio			
Chester 82 Timeline			
Date	11-9-2022		
Purpose	Present a timeline of the different meetings, discussions, etc. trying to get Chester 82 to the point of being able to receive Final Design Committee and Planning Commission approval		
Date	Description	Resp	Status
9-10-2021	Phone meeting with Jon Stephens from Sullivan Bruck Architects. Discussion, market rate apartments, Create a Capacity Study, Find out the Planning Advisor to Hough Area, Development Agreement?, Urban Feel, Rent Incentives? Penthouse Units? 120-150 Units, Podium with 4 floors of wood structure, Garage on Level 1 (closed in), Zoning of Parcel (what is MF-EZ zoning?), Setbacks?, Unit mix 80% 1 BR/Studio 20% 2 BR, Where does the entry drive go? Schedule for Conceptual Plan Mid October.		Completed
10-6-2021	Phone meeting with Jon Stephens (Lynn, Mike, Joe). Initial sketches provided. Reduce the quantities of Studios to 25%, 1 elevator (locate near center), dumpster on west prop. line, use Fire system 13 in place of 13R and eliminate third stair. Water pressure? Where will water and sewer come into the building? how to vent the garage (heat, co, vents, etc.), Terrace size? relocate Club Room & Fitness, No balconies.		Completed
10-12-2021	MF-EZ Zoning. Multi-family, E = 1.5 times the area of the lot is allowed as Gross Living Area (not including garage), 2 = Max. 60' in height		General Notes
11-2-2021	Phone Conversation with Kim Scott of Planning Commission. Found that Euclid Corridor will be doing the project Review for Planning Commission. The Local CDC will be Famico Foundation. There are NO addresses on Chester Ave in the area of our site so the address will stay on E. 82nd St. There is NO required percent of green space in the MF-EZ Zoning area. Planning Commission is working on a Form Based Zoning Code for Multifamily for the areas from Chester to White Aves. and E. 56th - E. 90th Streets. Planning Commission will be discussing it at the Friday 11-5-21 PC Meeting. PC would like it in force by spring 2022 (www.thelandcode.com).		Completed

C1	C2	C3	C4
6-13-2022	SB is working on revised plans per the ECDRC comments. The latest renderings have been completed for the meeting with Councilwoman Howse. The preliminary landscape plans have been completed. Received the SB revised plans per the ECDRC comments - 127 Units		Completed
6-14-2022	Presented the 127 Unit Plan of Chester 82 to the public at Councilwoman Howse's Hough Area Ward Meeting.		Completed
6-24-2022	Met with Rhonda Raines (1898 W.81st Street) to discuss the plans, Rhonda had been at Stephanie Howse's Ward Meeting and had seen the presentation there, wanted more information. I also met with the neighbor adjacent to our property on W. 82nd Street. I left several packets of information with Rhonda who in turn passed them out to her neighbors.		Completed
6-30-2022	Submitted for July 14-2022 ECDRC Meeting & 7-15 Planning Commission Meeting. Was told by Kim that we could not go forward without having a Neighborhood Meeting to get the support of the local neighbors.		Completed
8-1-2022	Presented Chester 82 at the Hough Area Neighborhood Meeting at Mary Martin School. Joyce and Elaine Griffin were in attendance, Stephanie Howse and Kim Scott were not in attendance. Lothario Marchmon and I presented the project at this meeting.		Completed
8-29-2022	It was decided in-house that Arne Goldman and Lothario Marchmon would head up dealing with the neighbors going forward. Arne & Lothario met with Khalid from Famico Foundation last week to discuss their support for the project.		Completed
9-22-2022	Arne, Lothario, Khalid and I met with Kim Scott & Shannan Leonard on Friday 9-22-22 to discuss what needs done to get the neighbors approval. Discussion followed regarding screening the neighbor's house from the new building (trellises, trees, plantings).		Completed
9-22-2022	Arne requested new renderings and revised Landscape Plans.		Completed
10-27-2022	Received New Renderings of Chester 82 showing additional landscaping and hardscaping to the site.		Completed
11-2-2022	Received New Landscape Plans from McCue Design of Chester 82 showing additional landscaping and hardscaping to the site		Completed
11-4-2022	Arne, Lothario and Khalid met with Rhonda Raines at her home on Friday 11-4-2022 to show her the updated plans. It is my understanding that meeting went very well.		Completed
11-4-2022	Submitted to Kim Scott the revised plans for Schematic Review and the 11-17-2022 Euclid Corridor Design Review Committee Meeting and the 11-18-2022 Planning Commission Meeting.		Completed

C1	C2	C3	C4
18	11-8-2021	Had a meeting with current Councilman Basheer Jones to discuss the concept plans and to discuss the general atmosphere of the neighborhood toward this type of development. Basheer told us to contact new Councilwoman Stephanie Howse after the first of the year.	Completed
19	11-19-2021	Reviewed the Nov 5, 2021 Planning Commission Meeting on YouTube regarding the planned Form Base Zoning for the Hough Area of Cleveland. Sent the link to the meeting and a summary to SB for review. SB is working on a revised plan taking these changes into account. At our 12-21-21 meeting we reviewed the revised building configuration of the Apartment Building from SB. Everyone was basically fine with the revised design. Need input from Kim Scott and Shannan Leonard before we move forward.	Completed
20	1-11-2022	The original plan has 112 Apartments and 5 Townhouse Condo Units. The townhomes were eliminated at our 1-11-2022 Staff Meeting and 27 additional apartments were added to the building (139 total).	Completed
21	1-13-2022	Need to set up meeting through Kim Scott with Departments, Public Infrastructure, Fire/Life Safety, Building. Kim Scott told me to set up the meeting with Fire on our own. Meeting has been set up for Thurs. 1-13-22 with Tom Vandover & Lt. Oleksiak. Met with Lt. Oleksiak and Tom Vanover on 1-13-2022, good meeting (see notes attached).	Completed
22	1-19-2022	There was a Hough Area Round Table Zoom Meeting on Weds. 1-19-22 that was called by Kim Scott to review and present all of the upcoming projects and developments either just starting or are planned for the Hough Area in the near future. There were 41 people in attendance and 23 projects/developments were presented. Most of the projects presented were accompanied by visual presentations. I only gave a verbal overview of what we are looking at doing on our site, I did not show any plans. A lot of the City of Cleveland Staff were on the call including Stephanie Howse (councilwoman), Stephanie would have heard basic information from my presentation but would not have seen plans or specifics. Joyce Huang was on the call presenting for The Cleveland Foundation, Joyce was announced as the new Director of Planning the next day.	
23	2-1-2022	Need a Determination Letter from NORSD regarding sanitary sewer. When I have a plan I will need to send it to Robert Stoerkel. Need this prior to submitting to Planning Commission. Received Determination Letter from NORSD 2-1-2022.	Completed
24	2-7-2022	Chester 82 Development Discussion with Kim Scott & Shannan Leonard - Revised Plans per Nov 5, 2021 Planning Commission Meeting and proposed Form Base Code.	Completed
25	4-25-2022	Had meeting with Stephanie Howse, Chip Marous, Lothario & John from Famico's at Stephanie's office to discuss Chester 82.	Completed
26	6-1-2022	Met with Kim & Shannan to discuss Chester 82 prior to 6-2-2022 Euclid Corridor Design Review Committee Meeting.	Completed
27	6-2-2022	Euclid Corridor Design Review Committee: Met with ECDRC on Thurs. 6-2-22 for Conceptual Review. Submitted 139 Unit Plan. Received Conceptual Approval with several notes. Currently on hold for ECDRC & Planning due to Form Base Code being passed.	Ongoing

PLANNING COMMISSION & DESIGN REVIEW SUBMISSION FOR:

CHESTER 82 1898 E. 82ND STREET CLEVELAND, OHIO 44103

DEVELOPER:

CHESTER 82 LLC
38119 STEVENS BLVD.
WILLOUGHBY, OHIO 44094

LOCATION MAP - CHESTER AVE. & 82ND DEVELOPMENT



Chester 82 Site 2022

Legend
📍 1898 E 82nd St

📍 1898 E 82nd St

322

Chester Ave

322

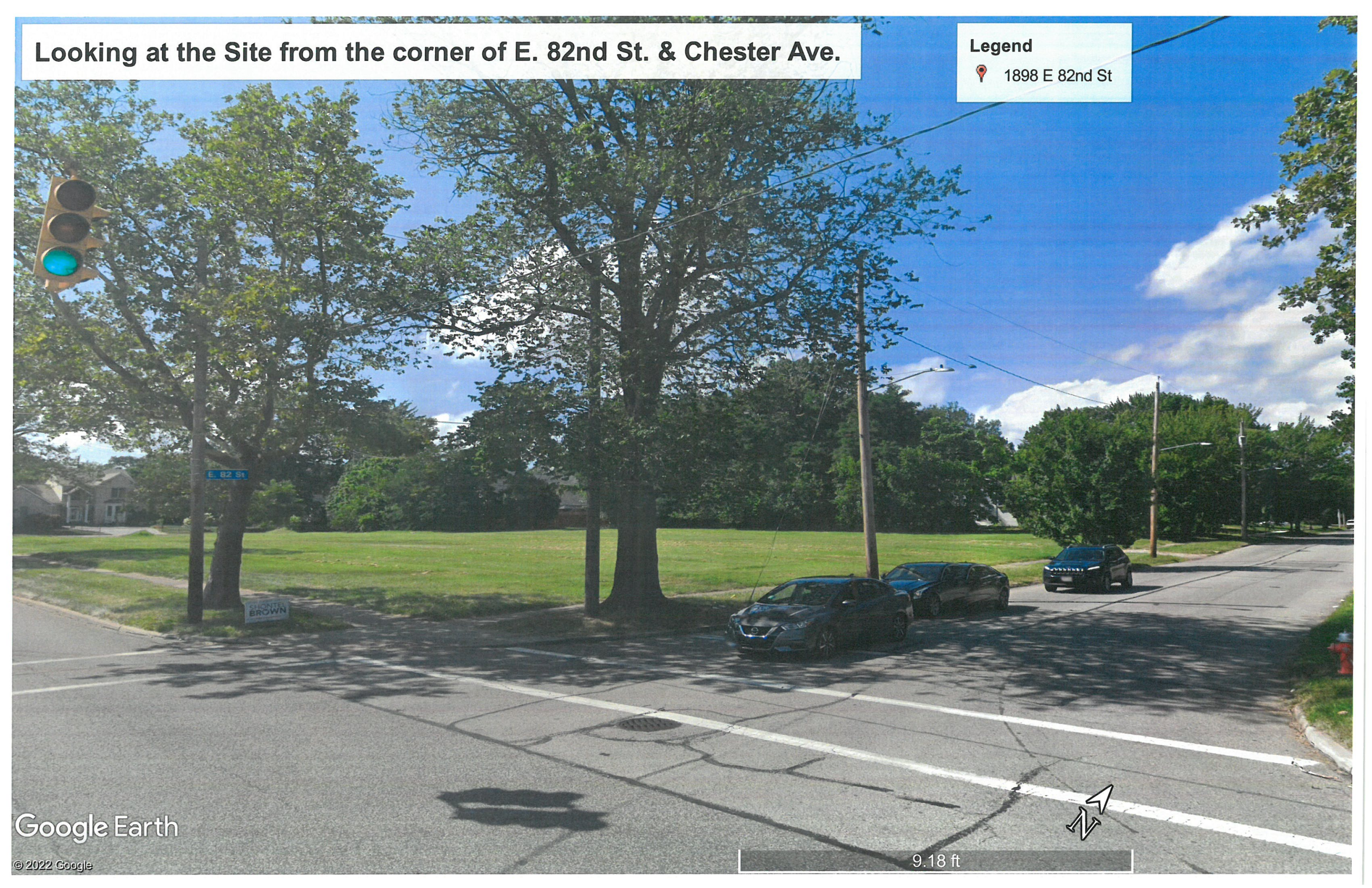
Crawford Rd



100 ft

Looking at the Site from the corner of E. 82nd St. & Chester Ave.

Legend
📍 1898 E 82nd St



E. 82 St

CHONTE
BROWN



Google Earth

© 2022 Google

9.18 ft

Site Looking East from E.81st Street & Chester Ave.

Legend

📍 1898 E 82nd St



NEW 8' HT. PLANTING BUFFER BEHIND NEW FENCE

NEW 6' TALL WOOD BOARD-ON-BOARD PRIVACY FENCE

NEW P.T. WOOD OR MTL. TRELLIS STRUCTURE AT PROPERTY LINE - 10'-0" TALL WITH CLIMBING VINES (FLOWERING) PLANTED AT BASE

NEW PLANTING BUFFER BEHIND NEW TRELLIS

WATER / MAINT.

NEW MIN. 12' HT. SHADE TREES

ELECTRICAL

NEW TREES PLANTED IN TREE LAWN PER CITY GUIDELINES

TRASH

EXISTING HOUSE

EXISTING DECK

MAINT. SHOP

NEW HARDSCAPE PLAZA W/ BENCHES

BIKE STORAGE
160 BIKES

SLIDING GATE

TOTAL SITE AREA = 1.6134 acres
= 70,277 sf
Green space = 10,350 sf = 14.72%
Amenity deck (2nd Fl) = 2,968 sf
Total Green & Open = 13,318 sf = 18.95%

UNIT MIX

Studios:	28	22.0%
1 bd	51	40.2%
1 bd + den	26	20.5%
2 bd	22	17.3%
TOTAL	127	100%

Total beds: 149

PARKING

81 spaces in podium
65 surface spaces
146 spaces total
1.15 spaces per unit
1.02 spaces per bed

NEW TREES PLANTED IN TREE LAWN PER CITY GUIDELINES

MAIL

MOVE-IN ENTRANCE

PACKAGES

COFFEE

VESTIBULE

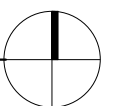
SMALL CONF.

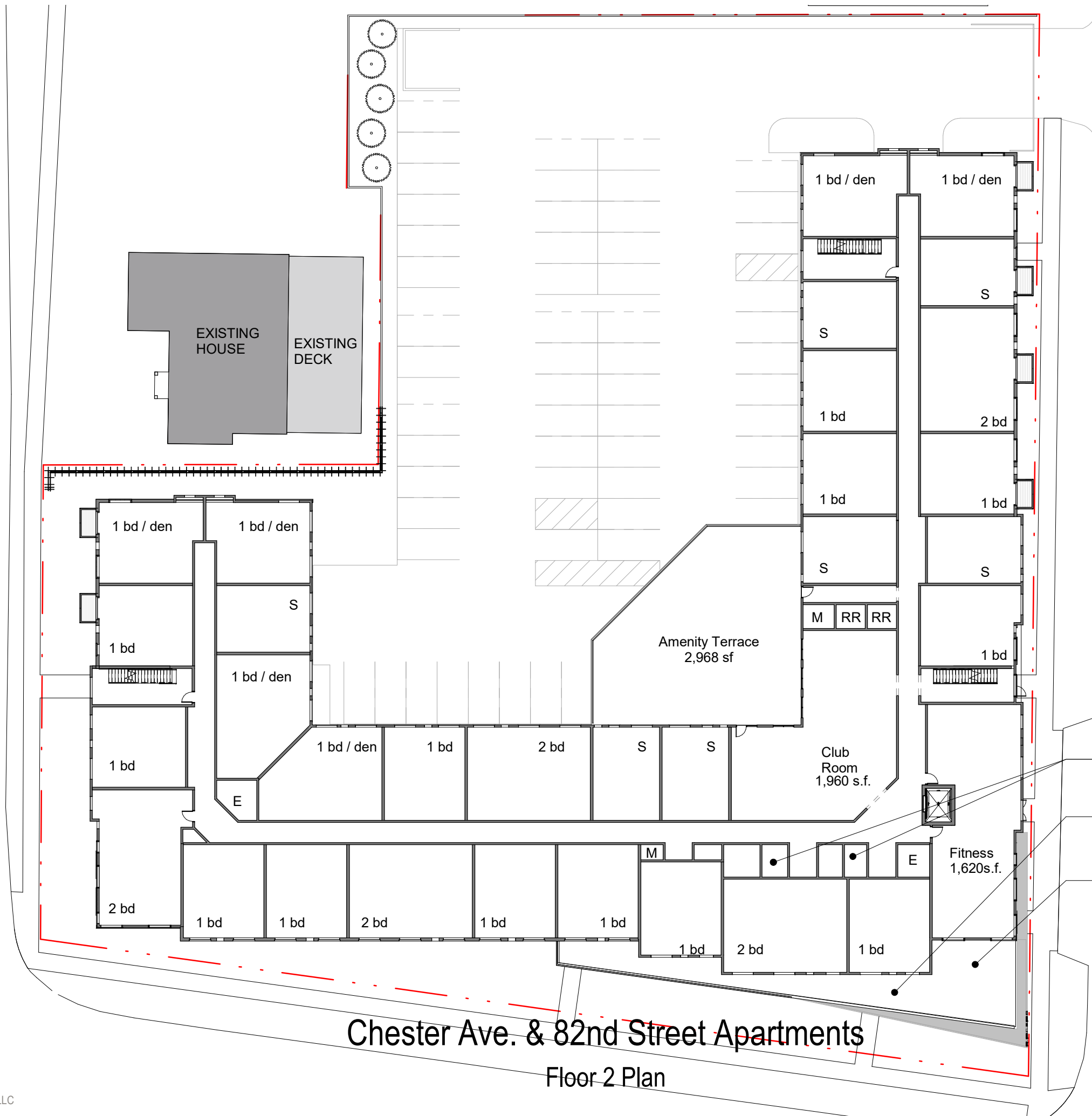
LOBBY

LEASING OFFICE

Site Plan

1" = 30'-0"

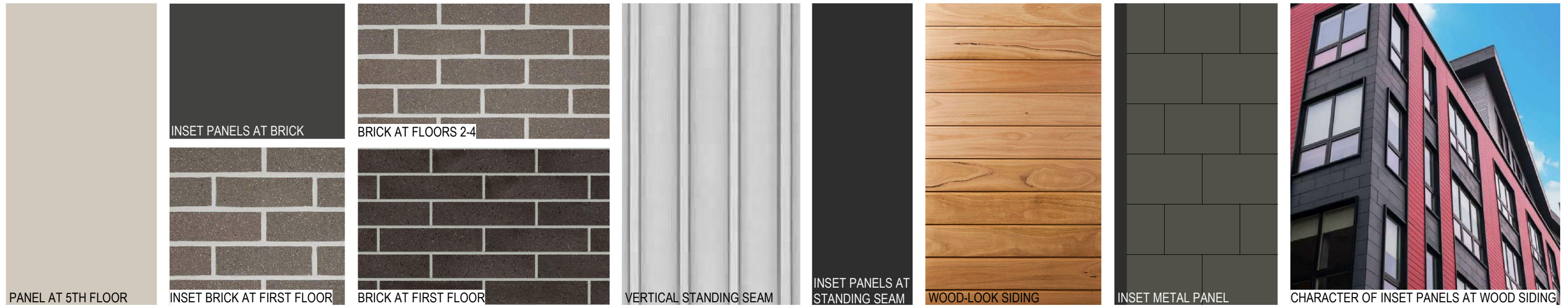




- RENTABLE STORAGE UNITS
- OPTIONAL OUTDOOR /PATIO SPACE FOR (4) UNITS
- OPTIONAL OUTDOOR FITNESS SPACE

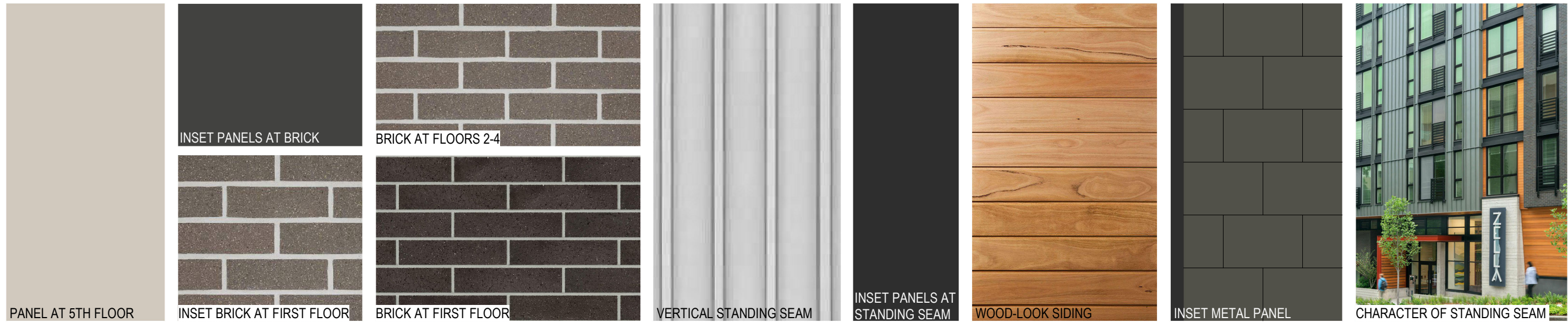
Floor 2 Plan
 1" = 30'-0"

Chester Ave. & 82nd Street Apartments
 Floor 2 Plan



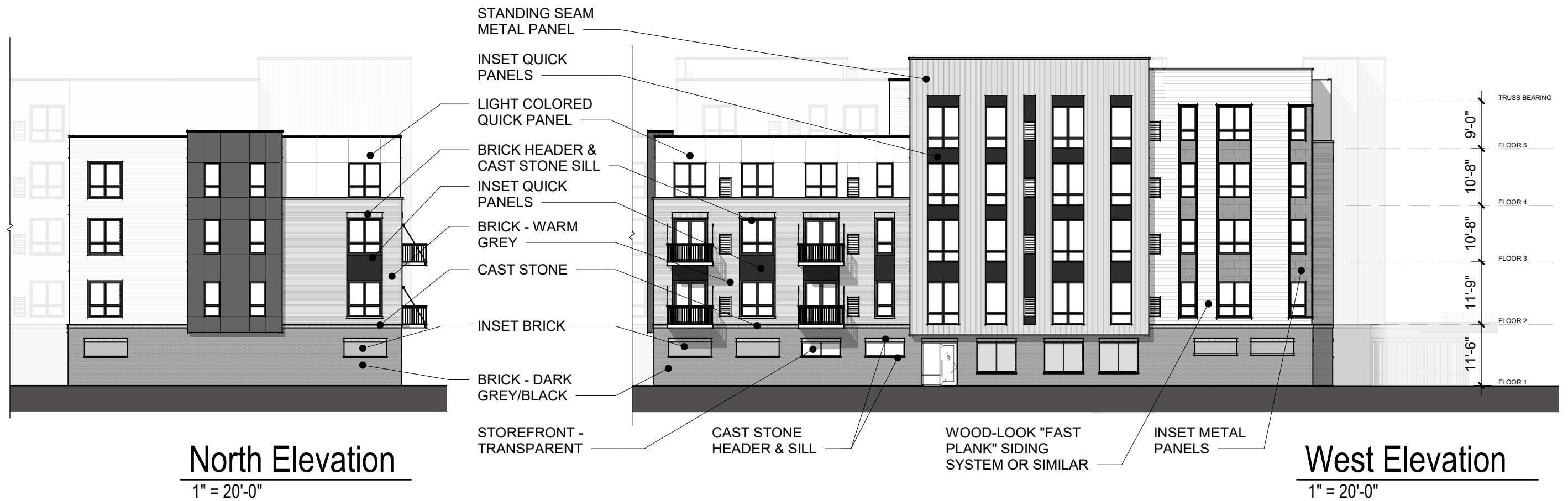
South Elevation

1" = 20'-0"
 FIRST FLOOR GLAZING FACING CHESTER (SECONDARY)
 WALL AREA = 3,078 sf
 GLAZING AREA = XXXX sf = XX%



East Elevation

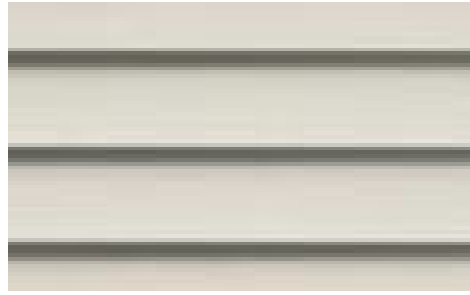
1" = 20'-0"
 FIRST FLOOR GLAZING FACING 82ND ST (PRIMARY)
 WALL AREA = 2,937 sf
 GLAZING AREA = XXXX sf = XX%



Chester Ave. & 82nd Street Apartments
 81st Street Elevation



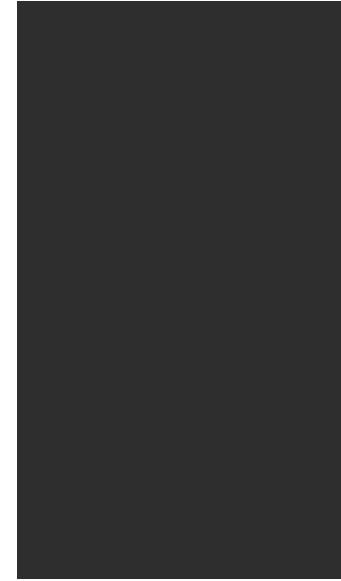
North Elevation
 1" = 20'-0"



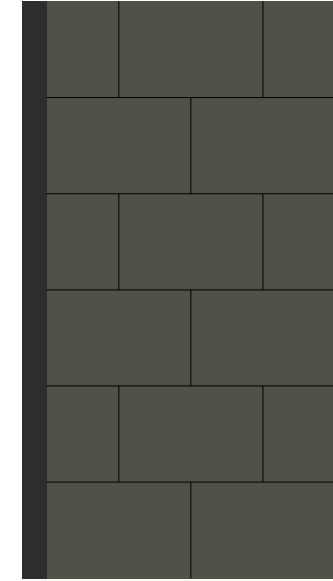
SIDING AT COURTYARD AT FLOORS 2-4
MFR: CERTAINTEED MAINSTREET
COLOR: HERRINGBONE



PANEL SIDING AT 5TH FLOOR
MFR: QUICK PANEL
COLOR: SW 7050 USEFUL GRAY



INSET PANELS AT STANDING SEAM
MFR: METAL SALES OR QUICK PANEL
COLOR: BLACK OR SW 6258 TRICORN BLACK



INSET PANELS AT WOOD
MFR: QUICK PANEL
COLOR: SW 7048 URBANE BRONZE



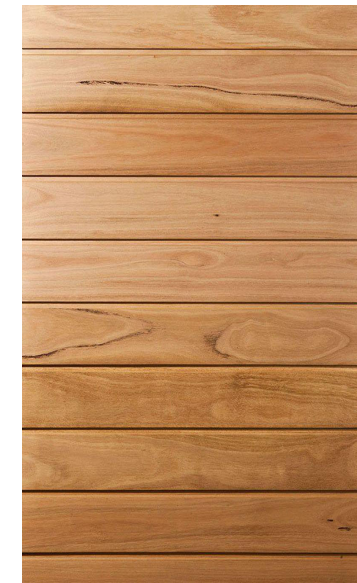
INSET PANELS AT BRICK AT FLOORS 2-4
MFR: QUICK PANEL
COLOR: SW 7069 IRON ORE



BRICK AT FLOORS 2-4
MFR: BELDEN BRICK
COLOR: ANCHOR GRAY VELOUR



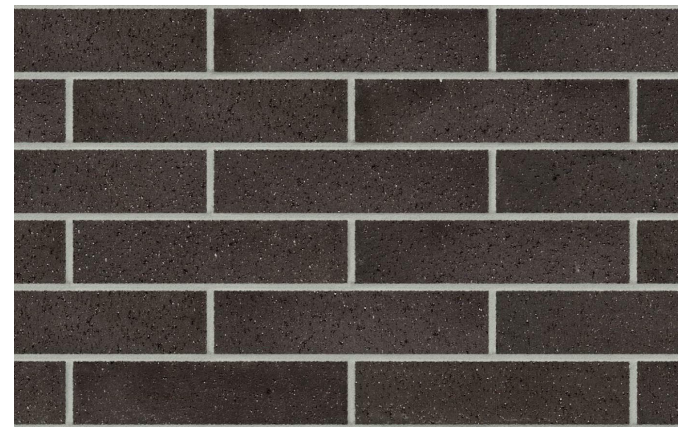
VERTICAL STANDING SEAM AT FLOORS 2-5
MFR: METAL SALES, IMAGE II
OR MINI-BATTEN 1.5"
COLOR: METALLIC SILVER OR SIMILAR



WOOD-LOOK SIDING AT FLOORS 2-5
MFR: TBD
COLOR: SIMILAR TO KRONOSPAN AVIGNON
OAK OR FAST PLANK KNOTTY PINE



INSET BRICK AT FIRST FLOOR
MFR: INTERSTATE STRUCTURAL BRICK
COLOR: TBD, SIMILAR TO BELDEN
ANCHOR GRAY VELOUR



BRICK AT FIRST FLOOR
MFR: INTERSTATE STRUCTURAL BRICK
COLOR: MIDNIGHT BLACK / BLACK OPAL



Front Corner of Chester 82 at the Corner of Chester Ave. and E. 82nd Street



Front Corner of Chester 82 at the Corner of Chester Ave. and E. 81st Street



Rear Corner of Chester 82 on E. 81st Street



Rear Corner of Chester 82 at the Main Driveway Entrance on E. 82nd Street



Chester Ave. & 82nd Street Apartments

Screening between 1895 E. 81st Street and Chester 82

House adjacent to the Site on E. 81st. Street

Legend

📍 1898 E 82nd St





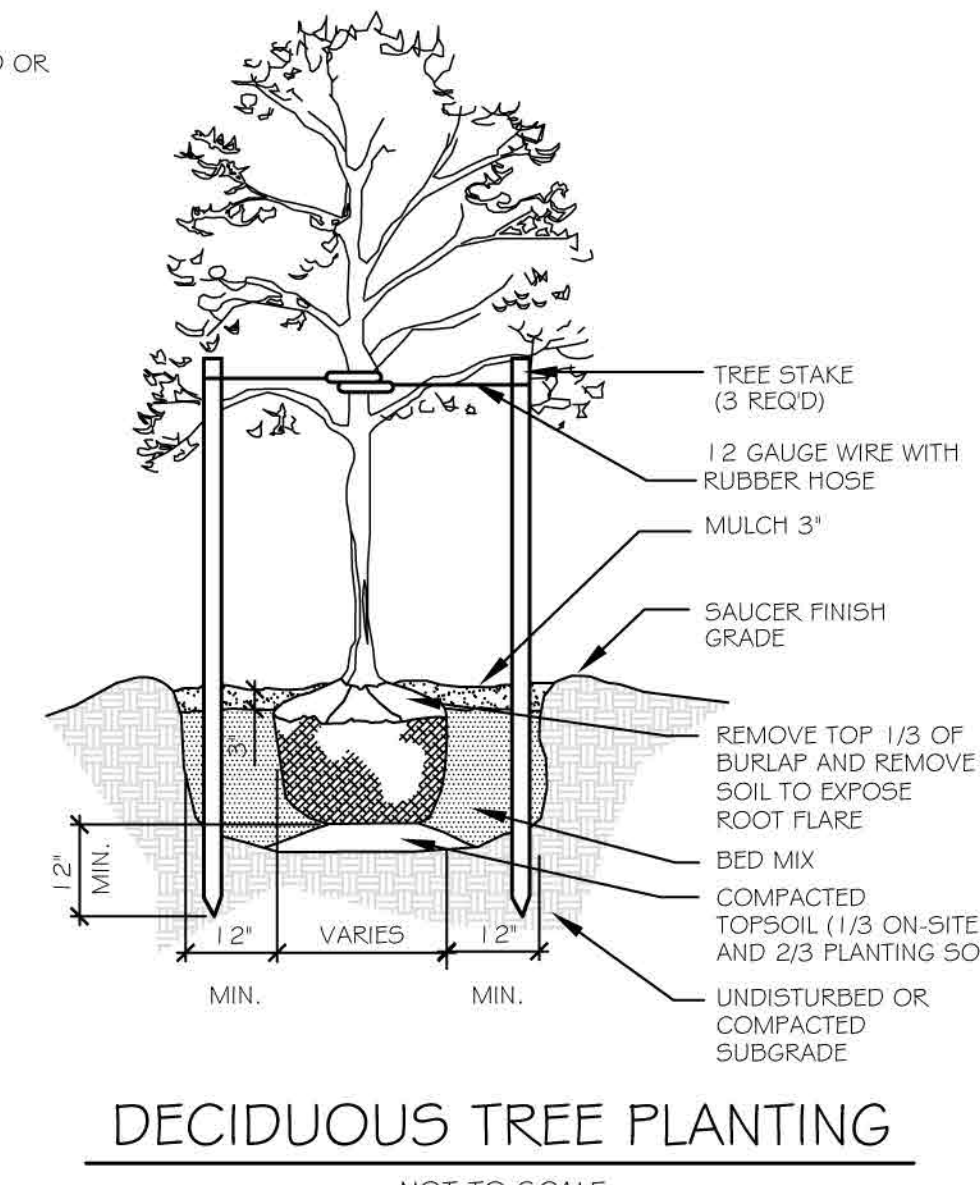
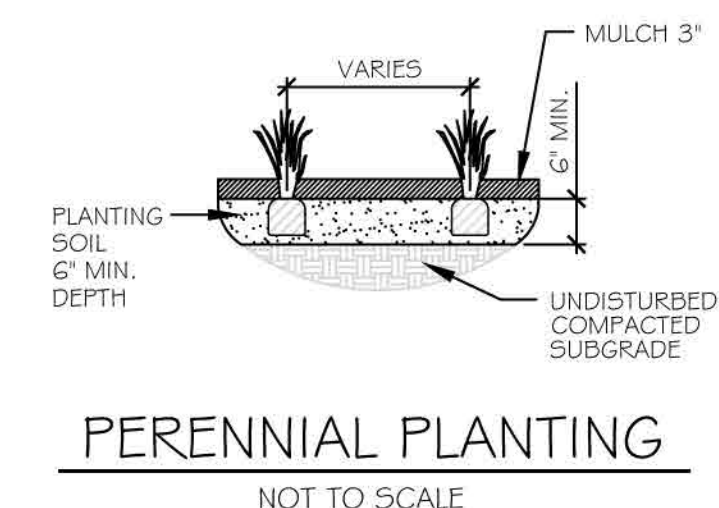
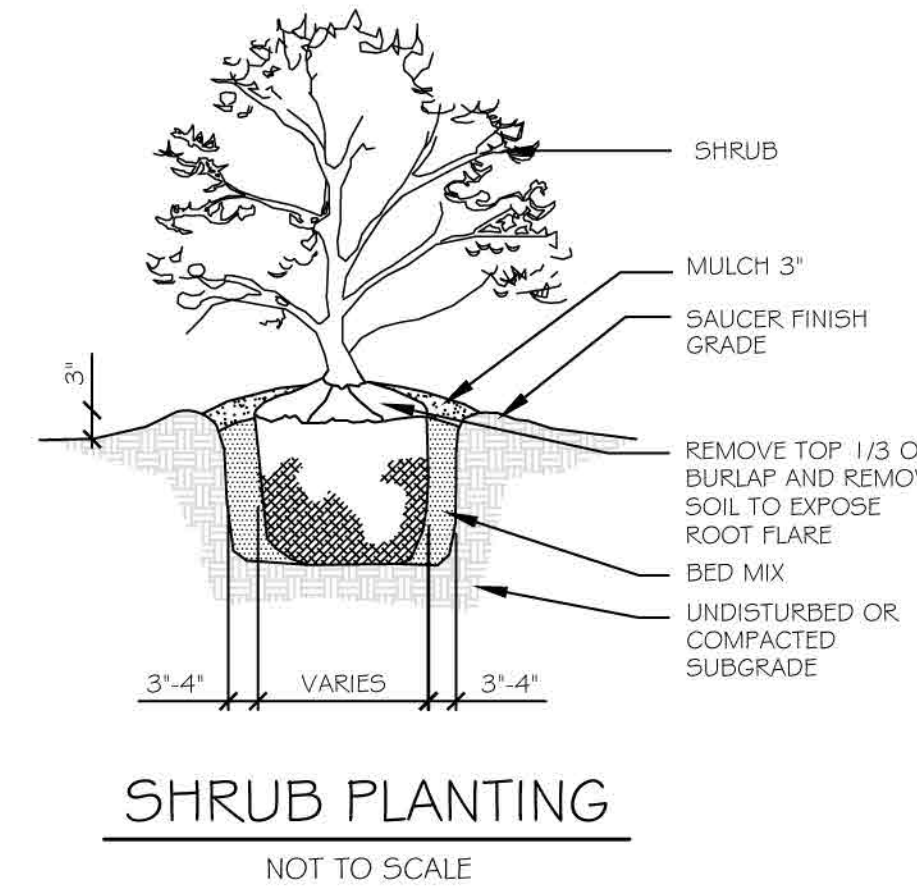
Chester Ave. & 82nd Street Apartments

Looking from the front yard of 1895 E. 81st Street toward Chester 82





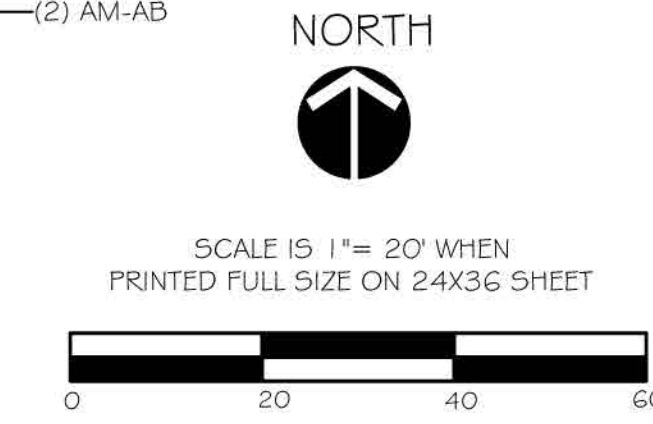
- GENERAL NOTES**
- MODIFICATIONS TO THE DESIGNS MAY BE REQUIRED TO ACCOMMODATE VARYING FIELD CONDITIONS OR MODIFIED PLANT ARRANGEMENTS.
 - LANDSCAPE ARCHITECT TO BE THE AUTHORITY FOR INTERPRETATION OF PLAN AND QUALITY OF WORK.
 - ALL SUBSTITUTIONS SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT.
 - ALL MEASUREMENTS, ELEVATIONS, & PROPERTY LINE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY VARIATIONS OR DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 - IF NO DISCREPANCIES ARE REPORTED PRIOR TO CONSTRUCTION AND THE OWNER OR CONTRACTOR DOES NOT EMPLOY THE LANDSCAPE ARCHITECT FOR THE CONSTRUCTION PHASE OF THE PROJECT, THE LANDSCAPE ARCHITECT SHALL BE HELD HARMLESS AND NOT RESPONSIBLE FOR MISINTERPRETATIONS, ERRORS, OR CHANGES MADE BY THE OWNER OR CONTRACTOR.
 - ALL SITE INFORMATION BASED ON CLIENT'S ARCHITECTURAL PLANS AND SITE PLAN.
 - ALL WALL ELEVATIONS, PATIO ELEVATIONS, FINISHED GRADES, AND DRAIN LINE ELEVATIONS TO BE FINALIZED IN THE FIELD.
 - DEPTH OF ALL FOOTERS TO BE 3'-6" OR MEET ALL LOCAL BUILDING CODES.
 - CONTRACTOR IS RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS.
 - CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES, SEPTIC SYSTEMS, IRRIGATION SYSTEMS, AND PROVIDE PROPER UTILITY PROTECTION PRIOR TO CONSTRUCTION. CALL APPROPRIATE STATE AUTHORITIES FOR MARKING. IF UNDERGROUND UTILITIES, CONSTRUCTION, OR SOLID ROCK LEDGES ARE ENCOUNTERED, OTHER LOCATIONS FOR PLANTINGS MAY BE SELECTED BY THE CONTRACTOR WITH THE OWNER/LANDSCAPE ARCHITECT'S APPROVAL.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN-UP ASSOCIATED WITH HIS CONSTRUCTION PROCEDURES.
 - QUALITY AND SIZES OF PLANTS TO MEET AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS.
 - ALL SUBSTITUTIONS OF PLANT SIZES AND VARIETIES SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - IF QUANTITIES LISTED IN PLANT LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
 - CONTRACT SHALL CONSIST OF TOTAL UNITS AUTHORIZED BY THE OWNER.
 - THIS PROPERTY MAY BE LOCATED IN AN AREA WITH A DENSE DEER POPULATION. IF DEER ARE HUNGRY ENOUGH THEY WILL EAT ALMOST ANYTHING, INCLUDING PLANTS NOT NORMALLY EATEN BY DEER. IF OWNER SHOULD NOTICE ANY DEER GRAZING ON THEIR PROPERTY, THEY SHOULD TAKE IMMEDIATE ACTION IN PROTECTING THE PLANTS IN THEIR YARD.
 - FOR PLANTING BED PREPARATION, LOOSEN EXISTING SOIL TO A DEPTH OF 6", ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4" ABOVE FINISHED LAWN GRADE. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND OR AWAY FROM PLANTING BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADE ABOVE THE FINISHED FLOOR ELEVATION OR WATER-PROOFING LINE ON FOUNDATION.
 - PREPARE PLANTING BEDS BY APPLYING ROUND-UP AS PER LABEL DIRECTIONS TO WEEDS OR GRASS GROWTH IN PLANTING AREAS ON-SITE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO TAKE EFFECT. SCARIFY PLANTING AREAS TO A MINIMUM DEPTH OF SIX INCHES. TILL IN TOPSOIL, SANDY LOAM, AND ORGANIC MATERIAL (BED MIX). ADD 4 INCHES OF BED MIX TOPSOIL TO PLANTING AREAS. TILL IN SOIL TO CREATE A MIX OF EXISTING SOIL AND BED MIX. BRING BEDS TO GRADE AND RAKE TO REMOVE WEEDS, CLODS, ROCKS WITH A DIAMETER OF GREATER THAN ONE INCH. EXISTING TURF AREAS, IF ANY, THAT HAVE BEEN DAMAGED OR SCARRED DURING THE PLANTING OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
 - LEAF HUMUS TO BE MIXED INTO BED AREAS WHERE PERENNIAL PLANTINGS WILL BE LOCATED.
 - APPROPRIATE QUANTITIES OF 1-2-1-2 AGRIFORM SOLID FERTILIZER TABLETS (OR EQUAL) TO BE APPLIED TO ALL PLANTINGS.
 - ALL BEDS SHALL BE EDGED WITH A DEFINED, CUT EDGE.
 - ALL NYLON ROPING AND TWINE SHALL BE REMOVED PRIOR TO PLANTINGS. ALL NON-TREATED BURLAP AND/OR NON-ROT BURLAP TO BE REMOVED FROM THE TOP HALF OF THE ROOTBALL.
 - MULCH ALL PLANTINGS, BEDS, AND DISTURBED AREAS WITH A 3" DEPTH OF DOUBLE SHREDDED BARK MULCH.
 - ALL PLANT MATERIALS AND GROUNDCOVERS TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE FINAL ACCEPTANCE OF WORK.
 - ALL SHRUBS AND TREES TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - LAWN INSTALLATION: SHADED LAWN AREAS TO BE SEEDED WITH A PREMIUM SHADE MIX. ENTIRE LAWN AREAS TO BE SEEDED WITH DELUXE SUN MIX (INCLUDING OVERSEEDING SHADE AREAS). AREAS TO BE SEEDED TO BE WITHOUT CONSTRUCTION DEBRIS, WEEDS, OR ROCKS GREATER THAN 3/4" DIAMETER. APPLY A MINIMUM 2" OF TOPSOIL TO ALL LAWN AREAS.
 - RESEED ALL DISTURBED AREAS WITH THE APPROPRIATE SEED MIX.
 - ALL SEEDED AREAS TO BE COVERED WITH A 1-1/2" THICK LAYER OF NON-COMPACTED STRAW.
 - ALL PAVED SURFACES TO HAVE A MINIMUM 1% SLOPE. ALL PROPOSED PAVEMENT TO MEET EXISTING PAVEMENT FLUSH.
 - A WEATHERPROOF GFCI OUTLET NEEDS TO BE INSTALLED AT EACH TRANSFORMER LOCATION SHOWN ON THE LANDSCAPE PLAN. OUTLET TO BE INSTALLED BY A LICENSED ELECTRICIAN.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING NEW PLANT MATERIAL UNTIL FINAL ACCEPTANCE OF WORK.
 - CONTRACTOR TO REMOVE STAKING ONE YEAR FROM DATE OF FINAL ACCEPTANCE AS PART OF ORIGINAL CONTRACT.



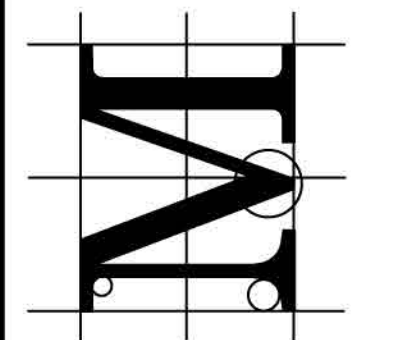
PLANTING SCHEDULE

Code	Qty.	Botanical Name	Common Name	Size	Notes
AC-BO	8	Acer r. 'Bowhall'	Bowhall Maple	2-1/2" Cal.	B&B
AM-AB	6	Amelanchier x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1-3/4" Cal.	B&B
BU-GV	34	Buxus x 'Green Velvet'	Green Velvet Boxwood	18"	B&B
CA-CA	4	Carpinus caroliniana	American Hornbeam	2-1/2" Cal.	B&B
CA-KF	10	Calamagrostis x 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Cont.	
CL-AH	5	Clethra a. 'Hummingbird'	Hummingbird Summersweet	30"	Cont.
CL-SC	12	Clethra a. 'Sixteen Candles'	Sixteen Candles Summersweet	#5 Cont.	
CO-IH	5	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	30"	B&B
HA-K	58	Hakonechloa m. 'Aureola'	Variiegated Japanese Forest Grass	#1 Cont.	18" o.c.
HO-DQ	14	Hosta 'Dancing Queen'	Dancing Queen Hosta	#1 Cont.	24" o.c.
HY-AN	4	Hydrangea arb. 'Annabelle'	Annabelle Hydrangea	#5 Cont.	
HY-LL	6	Hydrangea p. 'Little Lime'	Little Lime Hydrangea	#5 Cont.	
IL-CB	1	Ilex x. China Boy	China Boy Holly	36"	Cont.
IL-CG	5	Ilex x. China Girl	China Girl Holly	36"	Cont.

Code	Qty.	Botanical Name	Common Name	Size	Notes
LR-BB	15	Liriope m. 'Big Blue'	Big Blue Lily Turf	#1 Cont.	18" o.c.
PA-RR	8	Panicum v. 'Rotstrahlbusch'	Red Rays Switch Grass	#2 Cont.	
PA-SH	20	Panicum v. 'Shenandoah'	Shenandoah Switch Grass	#2 Cont.	
PE-AH	9	Pennisetum a. 'Hameln'	Dwarf Fountain Grass	#2 Cont.	
PL-AB	5	Platanus x a. 'Bloodgood'	Bloodgood London Planetree	2-1/2" Cal.	B&B
SP-GF	7	Spiraea x b. 'Goldflame'	Goldflame Spiraea	#5 Cont.	
SP-LE	6	Spiraea x b. 'Lemon Princess'	Lemon Princess Spiraea	#3 Cont.	
SZ-SO	12	Schizachyrium s. 'Standing Ovation'	Standing Ovation Little Bluestem	#2 Cont.	
TH-CC	17	Thuja p. 'Can Can'	Can-Can Western Red Cedar	6"	B&B
TH-TE	8	Thuja o. 'Techny'	Mission Arborvitae	6"	B&B
TX-BR	4	Taxus x m. 'Brownii'	Brown's Yew	#5 Cont.	
TX-EV	22	Taxus x m. 'Everlow'	Everlow Yew	#5 Cont.	



Design Group, LLC
LANDSCAPE ARCHITECTS
P.O. BOX 234
WILLOUGHBY, OHIO 44096
info@mccuedesigngroup.com



LANDSCAPE PLAN
CHESTER # 82ND STREET
APARTMENTS
CHESTER AVE. # E. 82nd STREET
CLEVELAND, OH 44103

DATE	NOTES
04.25.22	PREL. PLAN
06.29.22	PREL. PLAN - UPDATE
10.16.22	PREL. PLAN - UPDATE
11.03.22	LANDSCAPE PLAN

LP. 1
SHEET 1 OF 1



Bowhall Maple



Bloodgood London Planetree



Prince Sentry Ginkgo



Popcorn Viburnum



Little Princess Spiraea



Sixteen Candles Summersweet



Little Limelight Hydrangea



Green Velvet Boxwood



Everlow Yew



M c C u e Design Group, LLC
LANDSCAPE ARCHITECTS

Plant Palette

Chester & 82nd Street Apartments

Chester Ave. & E. 82nd Street
Cleveland, OH 44103



Karl Foerster Feather Reed Grass



Heavy Metal Switch Grass



Variegated Japanese Forest Grass



Gro Low Sumac



Walker's Low Catmint



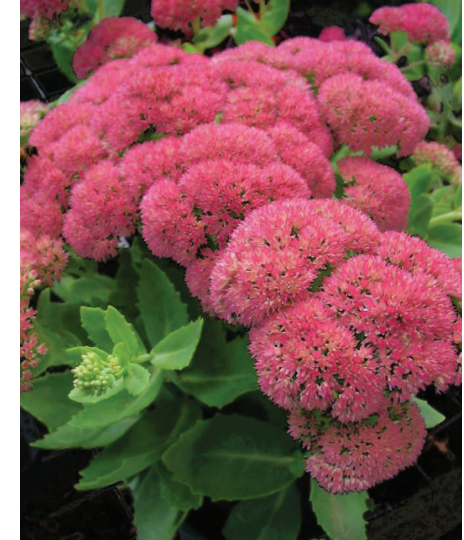
Happy Return Daylily



Autumn Brilliance Serviceberry



Switch Grass



Sedum Autumn Joy



M c C u e Design Group, LLC
LANDSCAPE ARCHITECTS

Plant Palette

Chester & 82nd Street Apartments

Chester Ave. & E. 82nd Street

Cleveland, OH 44103

EAST 81ST STREET 45'
(FORMERLY PRINCETON STREET)
(A PUBLIC RIGHT-OF-WAY)

EAST 82ND STREET 66'
(FORMERLY GENESSE AVENUE)
(A PUBLIC RIGHT-OF-WAY)

CHESTER AVENUE (WIDTH VARIES)
(US ROUTE 322)
(A PUBLIC RIGHT-OF-WAY)

POST-CONSTRUCTION STORMWATER EXPLANATION: STORMWATER RUNOFF FROM THE NEW BUILDING AND PARKING LOT WILL BE DIRECTED TO AN UNDERGROUND CHAMBER SYSTEM, WHERE DETENTION AND WATER QUALITY TREATMENT WILL BE PERFORMED. THE WATER QUALITY VOLUME WILL BE TREATED WITH A 24-HOUR DRAWDOWN. STORMWATER THAT EXCEEDS THE WATER QUALITY VOLUME WILL BE RELEASED AT A REDUCED RATE IN ACCORDANCE WITH TITLE IV REQUIREMENTS.

TOTAL POST CONSTRUCTION STORM WATER QUALITY VOLUME

$WQV = R_v \cdot P \cdot (A/12)$
 WHERE
 $R_v = 0.05 + 0.9i$
 $i = \text{fraction of post construction impervious surface}$
 $P = 0.90 \text{ inches}$
 $A = 1.61 \text{ ACRES}$
 $i = \text{Impervious area} / \text{Total area} = 1.42/1.61 = 0.88$
 $R_v = 0.05 + (0.9 \cdot 0.88)$
 $R_v = 0.84$
 $\text{SITE } WQV = 0.84 \cdot 0.90 \cdot (1.61/12)$
 $\text{SITE } WQV = 0.1019 \text{ ac}\cdot\text{ft} = 4,439 \text{ cf}$

LEGEND

	= Monument Box Found		= Spot Elevation Tag
	= Iron Pin or Pipe Found		= Hydrant
	= 5/8" Iron Pin Set and Capped Riverstone Company Dudley PS5747		= Water Service Valve
	= P.K. Nail		= Water Valve
	= Gas Meter		= Water Meter
	= Gas Valve		= Reducer
	= Utility Pole		= Storm Manhole
	= Light Pole		= Sanitary Manhole
	= Guy Anchor & Line		= Curb Inlet
	= Telephone Box		= Catch Basin
	= Electric Box		= Property Line
	= Cable Box		= Centerline
	= Bollard		
	= Cleanout / Test Tee		

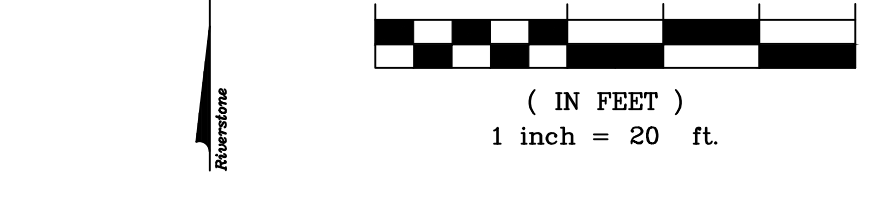
	= Ex. Parcel line		= PROPOSED Centerline
	= Original Sublot Line		= PROPOSED R/W
	= Original Lot Line		= PROPOSED Easement Line
	= Centerline		= PROPOSED Railroad Tracks
	= Property Line		
	= Right-of-way Line		
	= Easement Line		
	= Railroad Tracks		

	= Electric Line		= Existing Gas Line
	= Gas Line		= PROPOSED Gas Line
	= Sanitary/Combination Sewer		= Existing Storm Sewer
	= Storm Sewer		= PROPOSED Storm Sewer
	= Waterline		= Existing Waterline
	= Fence Line (Wooden)		= PROPOSED Fence Line (Wooden)
	= Fence Line (Chain-Link)		= PROPOSED Fence Line (Chain-Link)
	= Guardrail		

Ac.	Acre	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pa.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map Records	Prop	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Cl.	Cleare	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elec	Electric	T/C	Top of Curb
Elev	Elevation	Tele	Telephone
Encr.	Encroaches	T.F.	Top Of Footer
Ex.	Existing	T.T.	Test Tee
F.F.	Finished Floor	TW	Top of Wall
GUT	Gutter	Typ.	Typical
Inv	Invert	Vol.	Volume
		Wat	Water

	= PROPOSED Centerline
	= PROPOSED R/W
	= PROPOSED Easement Line
	= PROPOSED Railroad Tracks

	= Electric Line		= Existing Gas Line
	= Gas Line		= PROPOSED Gas Line
	= Sanitary/Combination Sewer		= Existing Storm Sewer
	= Storm Sewer		= PROPOSED Storm Sewer
	= Waterline		= Existing Waterline
	= Fence Line (Wooden)		= PROPOSED Fence Line (Wooden)
	= Fence Line (Chain-Link)		= PROPOSED Fence Line (Chain-Link)
	= Guardrail		



Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKEVIEW AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONEDESIGN.COM

2022-484

PLAN REVISIONS:

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
11/4/2022
NOT FOR CONSTRUCTION

CHESTER AVE. & EAST 82ND STREET APARTMENTS
CLEVELAND, OHIO
UTILITY PLAN



OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
Call 800-775-5848 or 611

C4.01



Committee Recommendation: Approved with **Conditions:**

Address zoning requirements including:

1. Inactive first floor use, where parking is allowed
2. Lack of amenity space on site
3. Landscape material in parking lot
4. Fence height - maximum is 6', proposed is 8'-10'



November 18, 2022

NE2022-029 – Proposed Demolition of a 1-Story Industrial Building:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 1282 East 125th Street

Project Representative: Greg Baron, Commonwealth Development

Committee Recommendation: Approved as presented

SITE PHOTOS

EAST ELEVATION, FACING SOUTHWEST



NORTH ELEVATION, FACING WEST

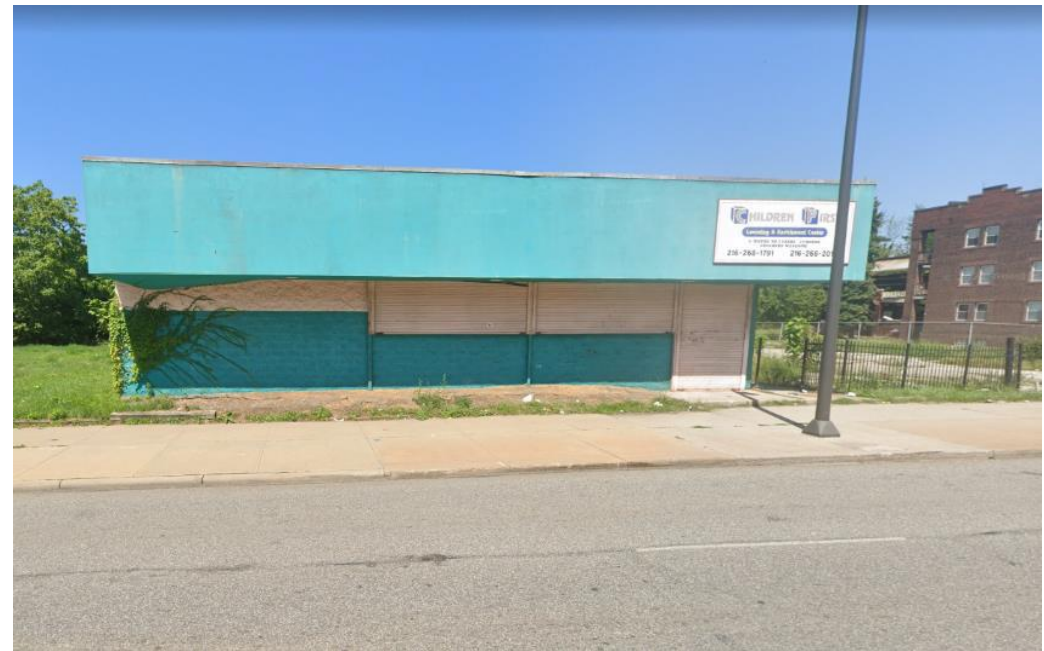


SITE PHOTOS

WEST ELEVATION, FACING NORTH



SOUTH ELEVATION, FACING NORTH



SITE PHOTOS

PARKING LOT – CURRENT CONDITIONS

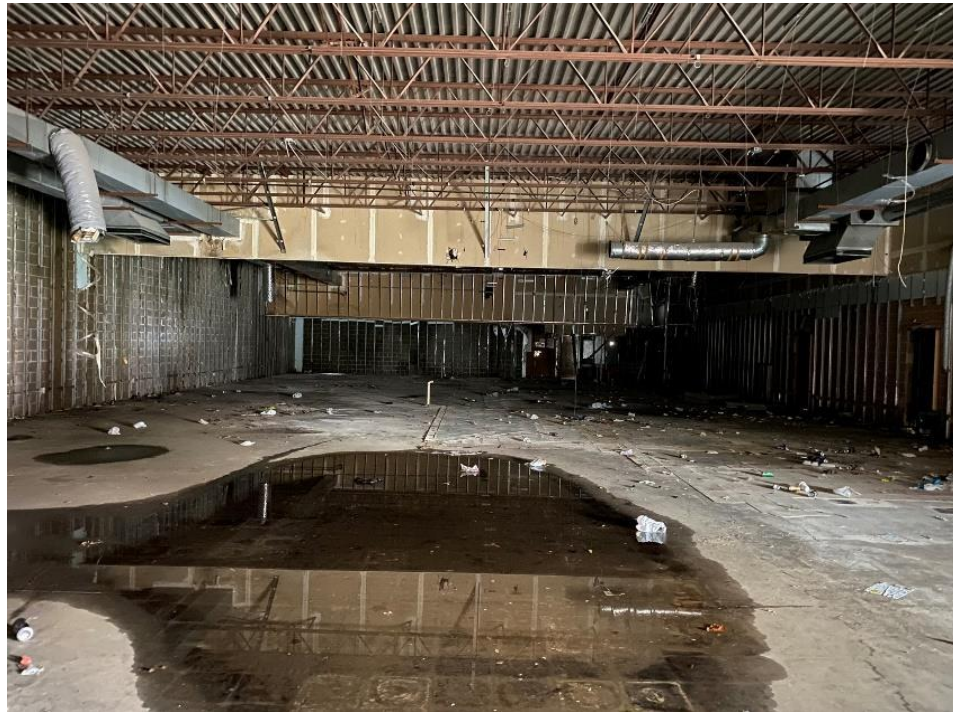


PARKING LOT – CURRENT CONDITIONS



BUILDING INTERIOR PHOTOS

BUILDING INTERIOR – CURRENT

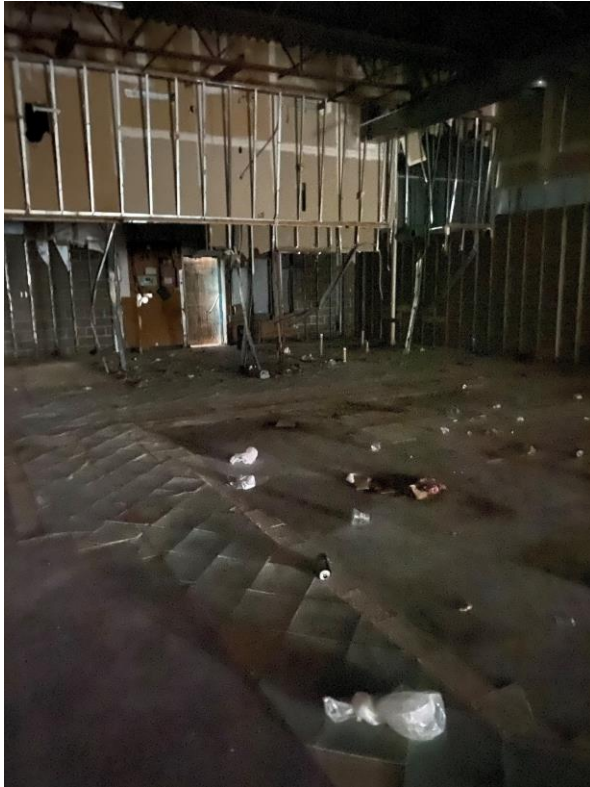


BUILDING INTERIOR - CURRENT

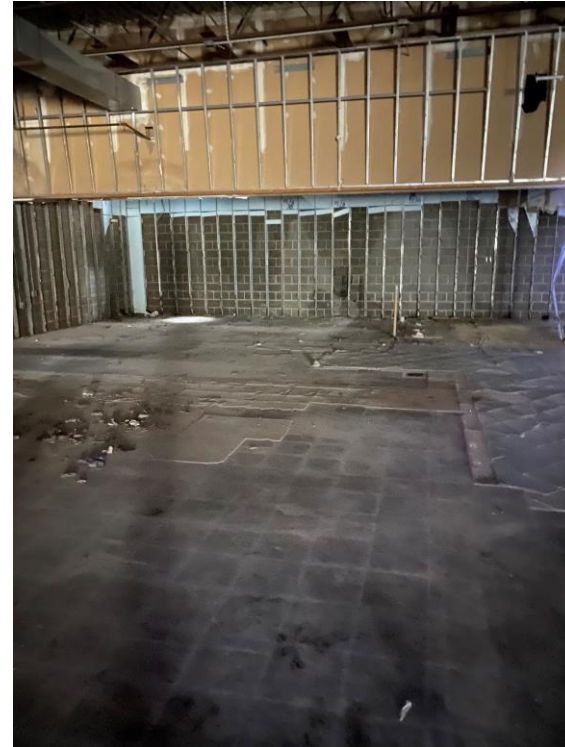


Building Photos

BUILDING INTERIOR - CURRENT



BUILDING INTERIOR – CURRENT



NE2022-016 – Garrett Square Senior Apartments New Construction:
Seeking Schematic Design Approval

Project Address: 1282 East 125th Street

Project Representative: Greg Baron, Commonwealth Development

Note: the Planning Commission granted this item Conceptual Approval on July 1, 2022.

Committee Recommendation: Approved with **conditions:**

- 1- Raise brick coursing
- 2- Develop/celebrate the entry, make entry canopy bigger on Superior and north side
- 3- Venting system color needs to match the color of the siding
- 4- Horizontal banding will be a darker color

Garrett Square Senior Apartments

1282 East 125th Street, Cleveland, Ohio 44108

Northeast Design Review Committee
November 14, 2022



Garrett Square Senior Apartments

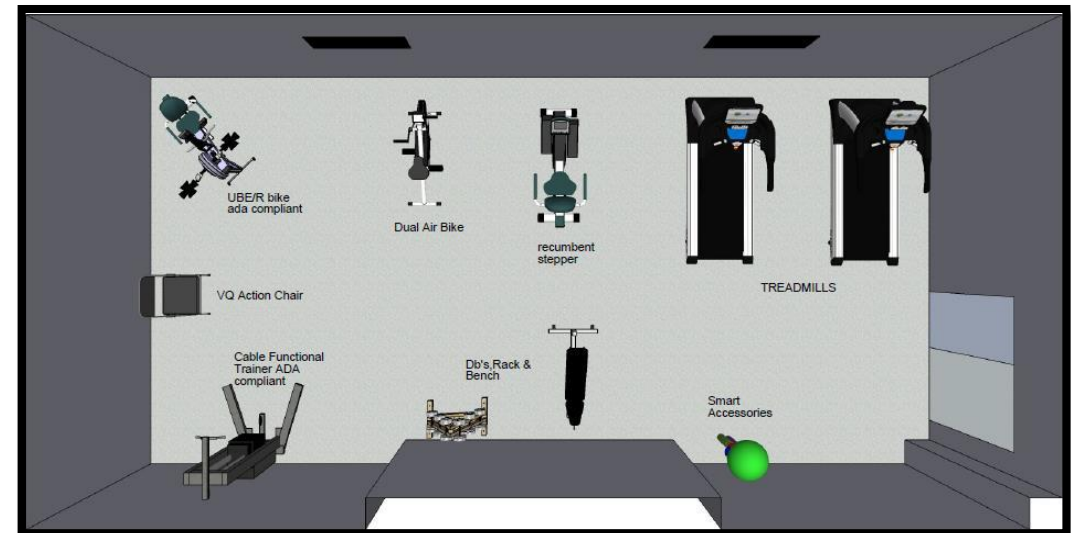
- Proposed new construction, 49-unit senior apartment building located on the corner of East 125th Street and Superior Avenue
- The Project will serve seniors aged 55 and older who have incomes between 30% & 60% AMI
- Residents will be connected to supportive and community-based services through an experienced service coordinator.
- In addition, the Project has partnered with St. Martin De Porres Family Center to provide additional health, wellness, and socialization activities.
- Amenities include a fitness center with senior specific equipment, a community room with kitchenette, laundry facilities, and enhanced site and building security.

Project Summary (Continued)

- In May of 2022, the Ohio Housing Finance Agency (OHFA) awarded the Garrett Square Senior Apartments project an allocation of 9% Competitive Housing Tax Credits. Additional financing will include a City of Cleveland Housing Trust Fund (HOME) award, Cuyahoga County Affordable Housing HOME Funding, and a permanent loan.
- The current owner purchased the property in 2018. The property has sat vacant for years and has become an eyesore for the neighborhood.
- The Project will redevelop two adjacent parcels, both of which have historical issues.
 - **12417 Superior Avenue** - The City of Cleveland Land Bank parcel previously contained a structure that was razed through the City after being a distressed eyesore for the neighborhood. The building was torn down in 2010, and soon after went through state forfeiture and eventually ended up in the City of Cleveland Land Bank.
 - **1282 East 125th** - Originally constructed as a Rite Aid Pharmacy and eventually became a daycare center for children. After the daycare center closed its doors, the building turned into a hotbed for drugs and prostitution. The owner regularly secures and boards up the property, however, vandals continue to break in. The construction of Garrett Square will put an end to historical crime at the site and will provide a new start for this important "Gateway" corner of Cleveland.

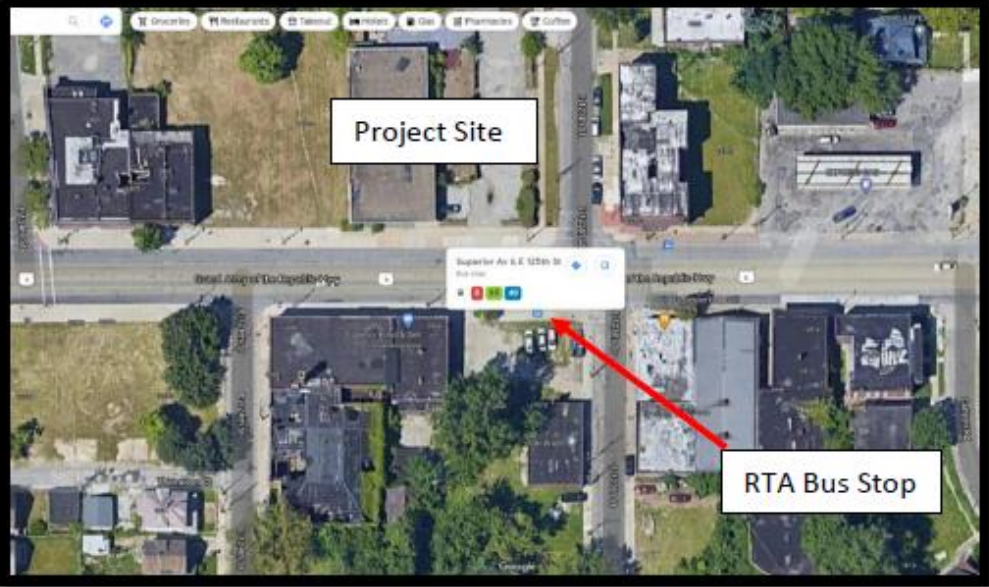
Senior Amenities

- Senior Fitness Facility will include:
 - Two (2) Treadmills
 - Recumbent Stepper
 - Dual Air Bike
 - UBE Bike (ADA Compliant)
 - VQ ActionCare Resistance Chair
 - Cable Functional Trainer (ADA Compliant)
 - Dumbbell Rack and Bench
 - Smart Accessories
- Through Property Management and Supportive Service staff, we envision utilizing the fitness space, the Community Room and the Classrooms for Health and Wellness activities for the senior tenant population



Public Transportation

RTA Bus Stop – South Side of Superior



RTA Bus Stop – North Side of Superior

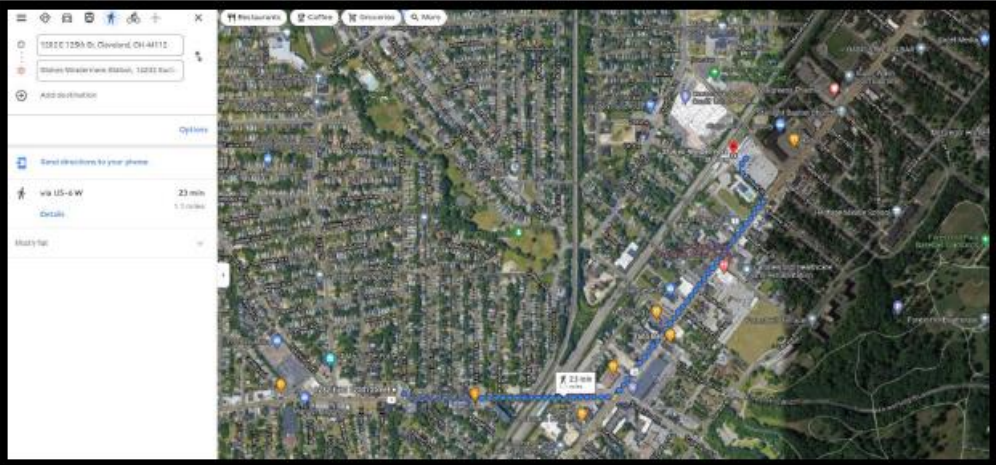


Public Transportation (Continued)

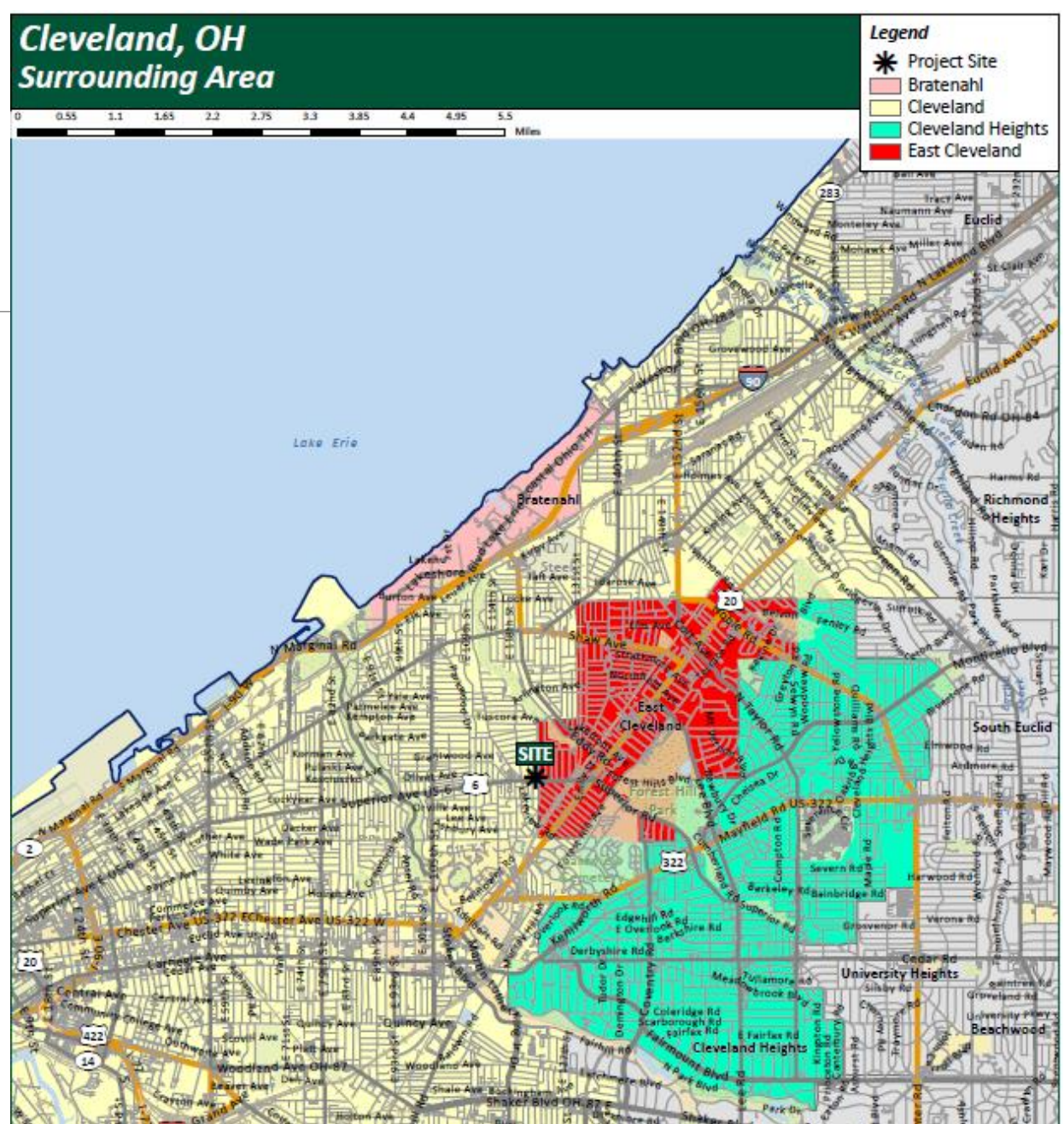
RTA Superior Rapid Station (.3 miles from the Site)



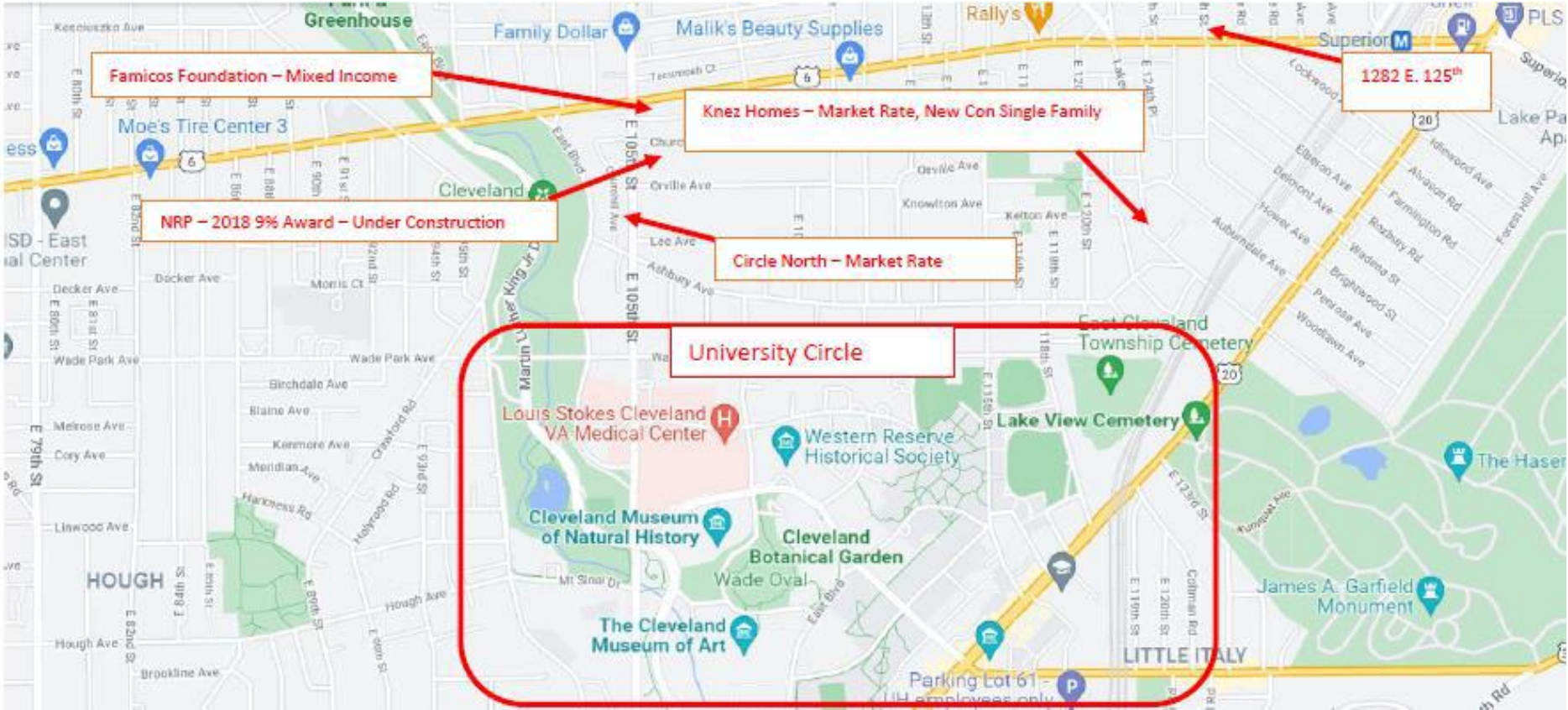
RTA Louis Stokes/Windermere Rapid Station (1.1 miles from the Site)



SITE LOCATION



NEIGHBORHOOD DEVELOPMENT MAP



SITE AERIAL – SURROUNDING USES



SITE PHOTOS

EAST ELEVATION, FACING SOUTHWEST



NORTH ELEVATION, FACING WEST

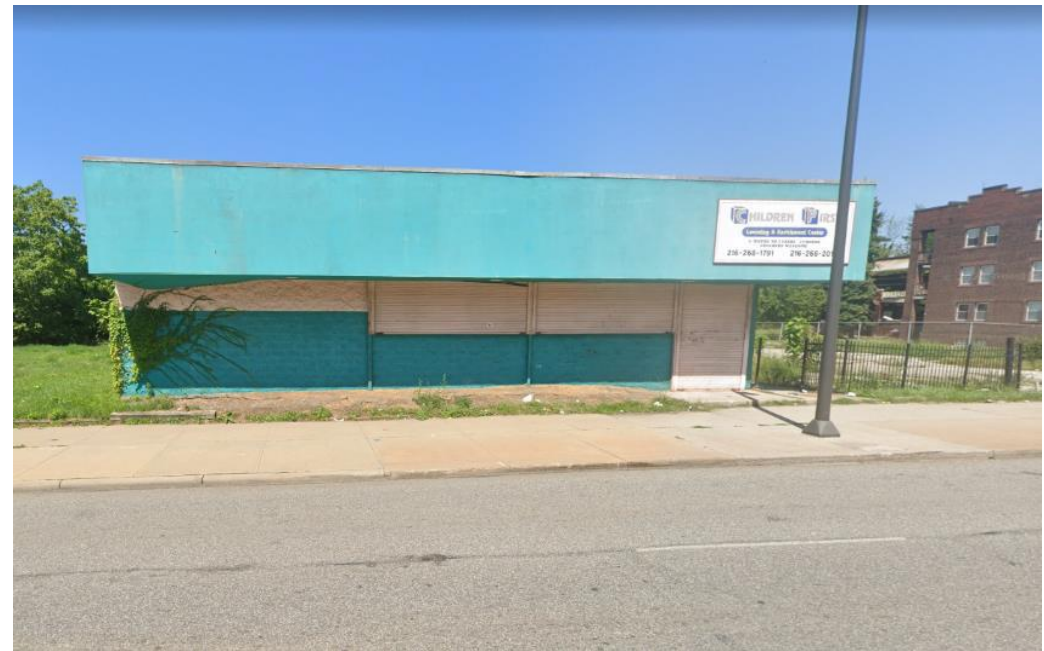


SITE PHOTOS

WEST ELEVATION, FACING NORTH



SOUTH ELEVATION, FACING NORTH



SITE PHOTOS

PARKING LOT – CURRENT CONDITIONS

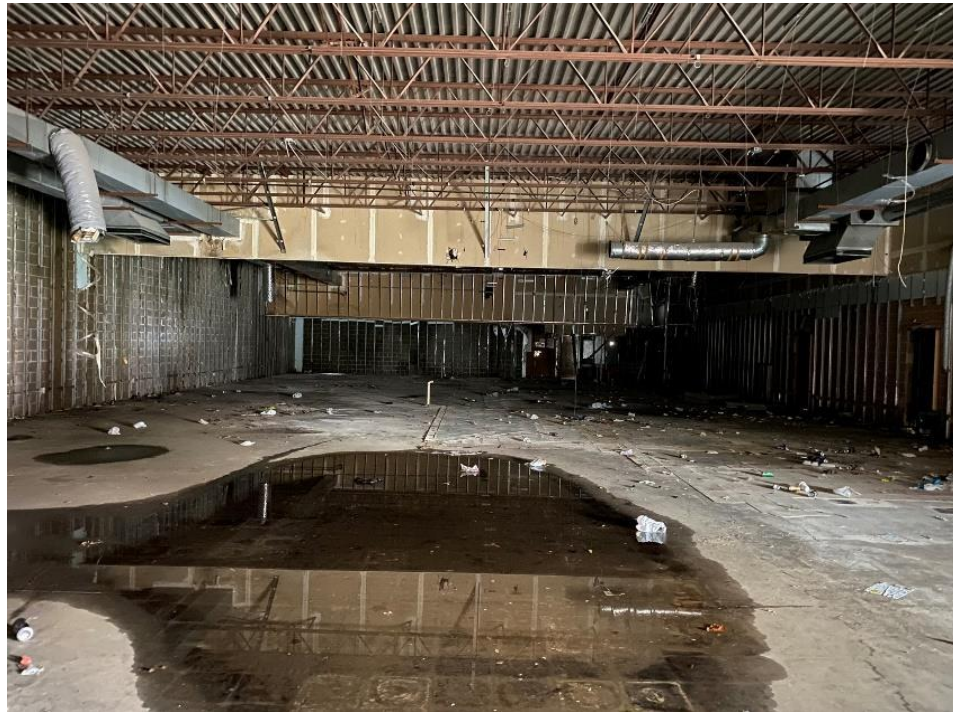


PARKING LOT – CURRENT CONDITIONS

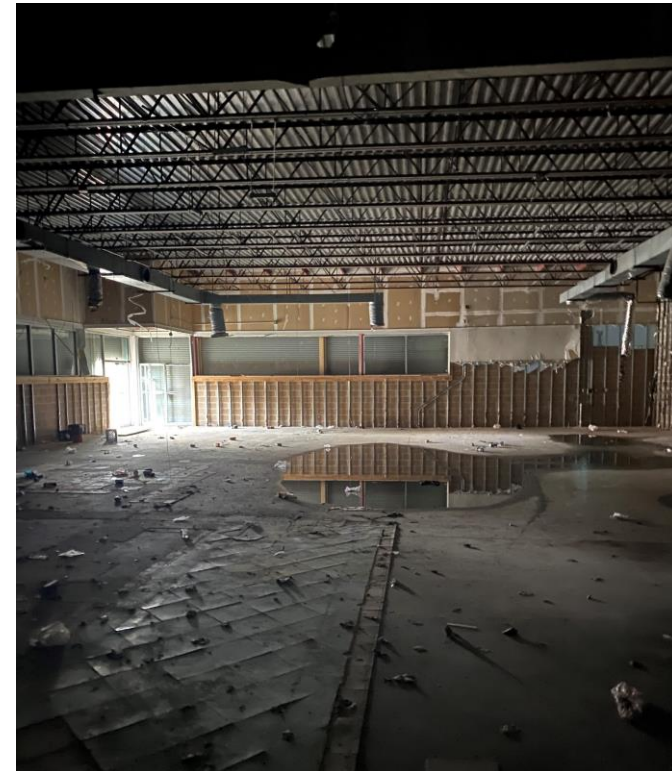


BUILDING INTERIOR PHOTOS

BUILDING INTERIOR – CURRENT

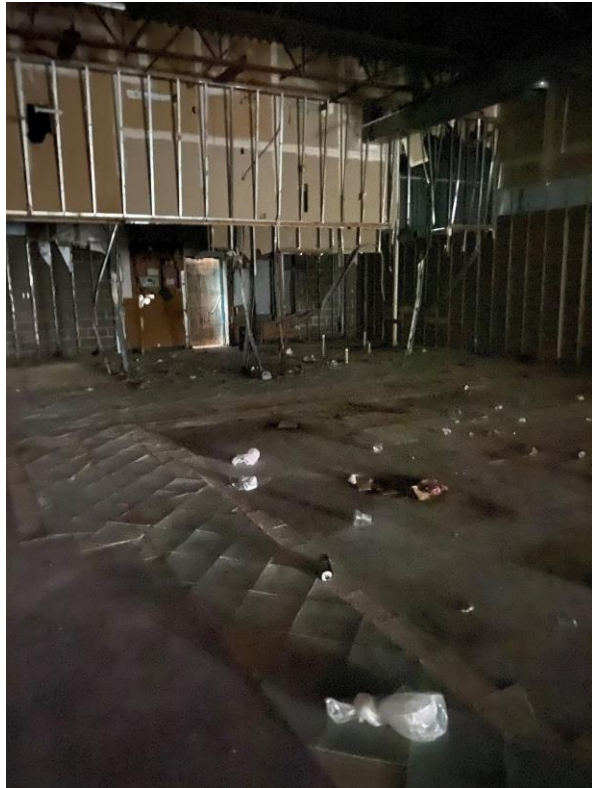


BUILDING INTERIOR - CURRENT

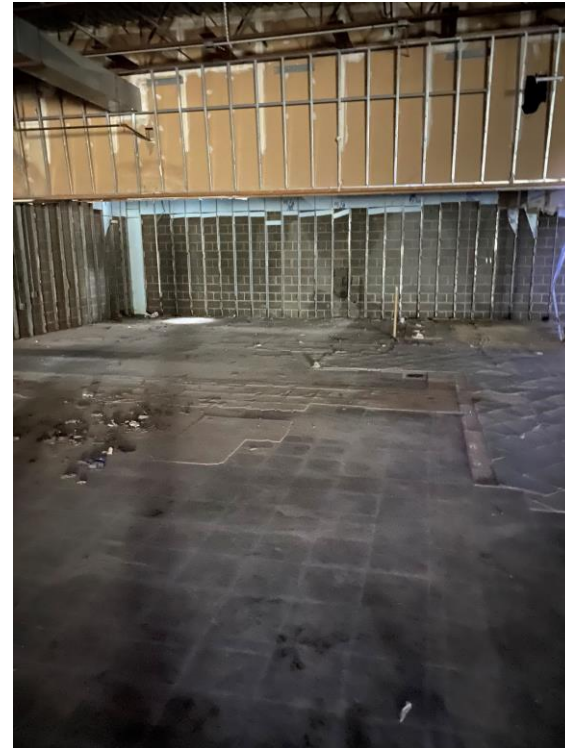


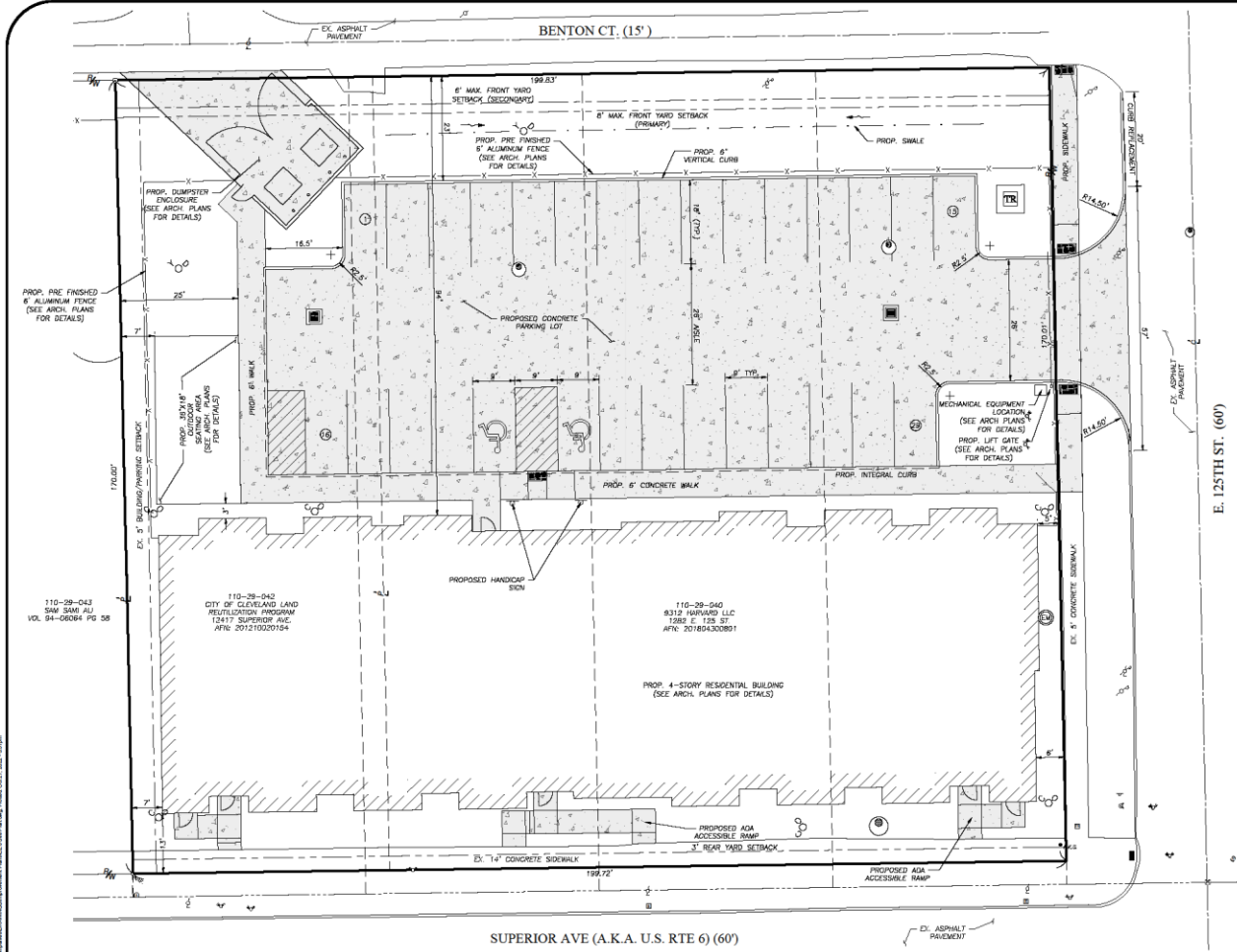
Building Photos

BUILDING INTERIOR - CURRENT



BUILDING INTERIOR – CURRENT





- NOTES:**
1. ALL DIMENSIONS TO THE EDGE OF PAVEMENT, BACK OF CURB, FACE OF BUILDING, & FACE OF WALL UNLESS OTHERWISE STATED.
 2. ALL PAVEMENT AND SITE WORK SHALL CONFORM TO O.D.G.T. AND CITY OF CLEVELAND STANDARD CONSTRUCTION DRAWINGS.
 3. ALL EARTHWORK, SUBGRADE PREPARATION, & BACKFILL REQUIREMENTS SHALL BE MONITORED BY A CERTIFIED GEOTECHNICAL ENGINEER.
 4. CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
 5. IF THE CONTRACTOR IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNLESS AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
 6. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, CORNERS, AND DIMENSIONS SHOWN HEREON PRIOR TO CONSTRUCTION.
 8. CONTRACTOR TO NOTIFY THE CITY OF CLEVELAND AND SITE OWNERS AUTHORIZED REPRESENTATIVE A MINIMUM OF TWENTY-FOUR (24) HOURS BEFORE BEGINNING OF CONSTRUCTION.
 9. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJACENT PROPERTY, BOTH PRIVATE & PUBLIC, PROTECTED FROM DAMAGE.
 10. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY EXISTING ITEMS AND/OR MATERIALS INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
 11. ALL STREET SURFACES, DRIVEWAYS, CURBS, CURB AND CUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE/WAY BE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
 12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE UTILITIES PROTECTION SERVICE (1-800-365-2744) 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MARK. WORKMENS MUST BE CONDUCTED DIRECTLY.
 13. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES.
 14. PRIOR TO PLACEMENT OF ENGINEERED FILL, FLOOR SLABS OR PAVEMENTS ON THE SITE GENERAL SITE CLEARING SHOULD BE CARRIED OUT SUFFICIENT TO REMOVE ALL UNSUITABLE MATERIALS INCLUDING SOFT LOOSE, EXCESSIVELY WET SOILS, HEAVY ORGANIC SOILS AND OTHER CELESTROUS MATERIALS. AREAS OF PROPOSED BUILDING PAD AND PAVEMENT SHALL BE PROOF ROLLED TO CHALLENGE STRONG EXISTING SOILS. ONSTE NATURAL SOILS CAN BE REUSED AS ENGINEERED FILL WITH APPROPRIATE MOISTURE CONTROL, SO AS TO ACHIEVE THE REQUIRED DEGREE OF COMPACTION.
 15. ENGINEERED FILL FOR THE BUILDING PAD AND PAVEMENT SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-998). LOOSE FILL SHOULD BE PLACED IN MAXIMUM OF 8\"/>

ZONING CLASSIFICATION

THE SUBJECT PREMISES IS LOCATED WITHIN ZONE "LOCAL RETAIL BUSINESS WITH OVERLAY FRONTAGE LINES ASSOCIATED OVERLAY: URBAN FORM OVERLAY AND FRONTAGE TYPE: URBAN FRONTAGE LANE (MULTI-P-03 DISTRICT) AS SHOWN ON THE ZONE MAP OF THE CITY OF CLEVELAND.

LOT REQUIREMENTS:
 MINIMUM FRONT YARD SETBACK: 8' MAX. (PRIMARY), 6' MAX. (SECONDARY)
 MINIMUM SIDE YARD SETBACK: NONE
 MINIMUM REAR YARD SETBACK: 3' MIN.

FINISHING REQUIREMENTS:
 URBAN FORM OVERLAY: 23 REQUIRED SPACES, 29 PROVIDED SPACES (2 H.C. ACCESSIBLE)



NO.	DATE	BY	REVISION
1	08/24/23	WTB	REVISED SHEETLAYOUT
2	08/24/23	WTB	REVISED SHEETLAYOUT

DRAWN BY: OEW

CHECKED BY: WTB

BRAMHALL
 ENGINEERING AND SURVEYING COMPANY
 801 MOORE ROAD AVON, OHIO 44011
 (440) 934 - 7876 (440) 934 - 7879 FAX

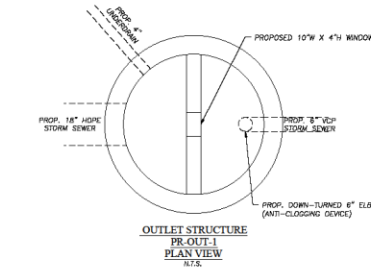
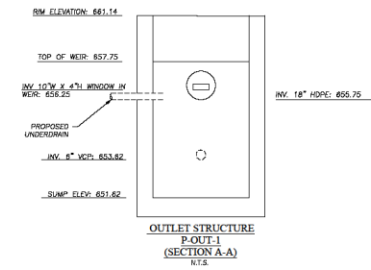
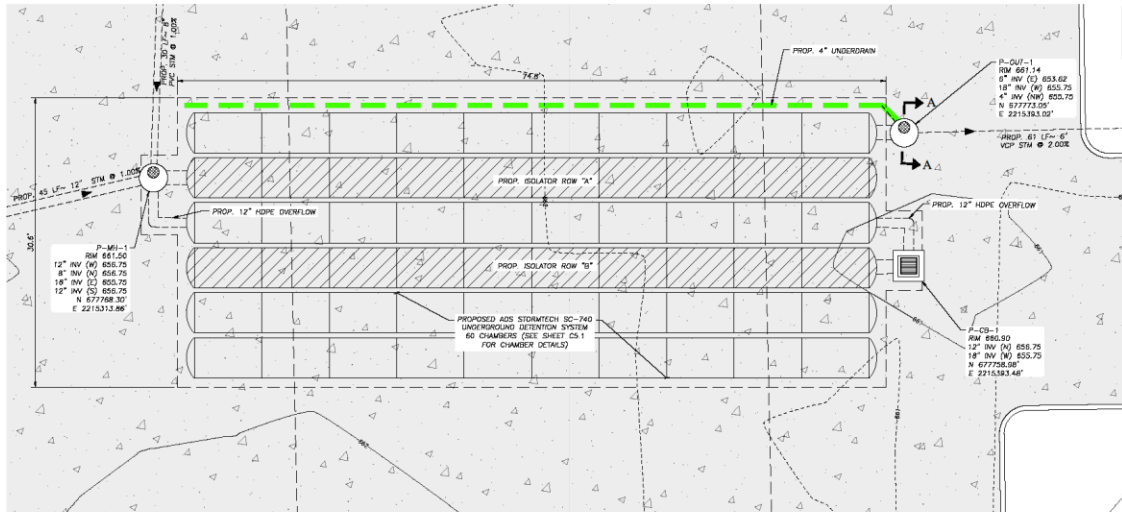
PREPARED FOR:

COMMONWEALTH COMPANIES
 24 SOUTH BROOKE STREET
 FOND DU LAC, WISCONSIN
 (920) 922-8170

GARRETT SQUARE IMPROVEMENT PLANS
SITE PLAN
 CITY OF CLEVELAND, COUNTY OF CUYAHOGA,
 STATE OF OHIO

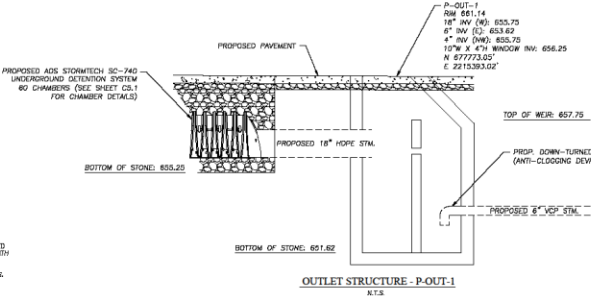
SHEET
 C2.0
JOB NO.
 21-5697

SITE PLAN



EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE & LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, BRAMHALL ENGINEERING AND SURVEYING COMPANY, DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

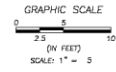
- NOTES:**
- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICT EXIST WITH PROPOSED UNDERDRAINS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN COMPLIANCE WITH THEIR GUIDELINES.
 - CONTRACTOR SHALL INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE LOCAL AGENCY STANDARD CONSTRUCTION DRAINAGES.
 - ALL EXISTING SEWERS AND DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED BY STRUCTURES OR DITCHES.
 - COORDINATE EXACT TRENCHING, ROUTING AND POINT OF TERMINATIONS WITH ALL UTILITIES COMPANIES, BOTH PUBLIC AND PRIVATE.
 - CONTRACTOR SHALL MAKE SURE THAT ALL PIPE CONNECTIONS BE WIKER TIGHT.
 - TEMPORARY STABILIZATION SHALL BE PERFORMED AFTER SOIL HAS BEEN SOLE FOR 14 DAYS OR LONGER.
 - ONCE LAWN AREAS IN THE DRAINAGE AREA HAVE REACHED A UNIFORM SEEDING (70%) PERCENT STABILIZATION, THE UNDERGROUND SYSTEM SHALL BE JETTED AND CLEARED.
 - BOTTOM OF PROPOSED HEADER ROW SHALL BE PROTECTED BY GEOTEXTILE FABRIC.



PROPOSED STORM STRUCTURE TABLE

STRUCTURE NAME	RM	INVERT(S)	STRUCTURE LOCATION
P-CB-1	RM 660.90	12" (W) INV.: 656.75 18" (W) INV.: 655.75	N: 877758.98 E: 2215383.48
P-MJ-1	RM 661.50	12" (W) INV.: 656.75 8" (I) INV.: 656.75 18" (W) INV.: 655.75 12" (S) INV.: 656.75	N: 877768.30 E: 2215313.86
P-OUT-1	RM 661.14	8" (I) INV.: 653.62 18" (W) INV.: 655.75 4" (NW) INV.: 655.75	N: 877773.05 E: 2215383.05

*STORM STRUCTURES TO HAVE A 2" MINIMUM SWMP BELOW LOWEST INVERT FOR SEDIMENT COLLECTION.



DATE	BY	REVISION
2023.03.15	WTR	REVISED SHEETLAYOUT
2023.03.28	WTR	REVISED SHEETLAYOUT

DRAWN BY: GEW

CHECKED BY: WTR

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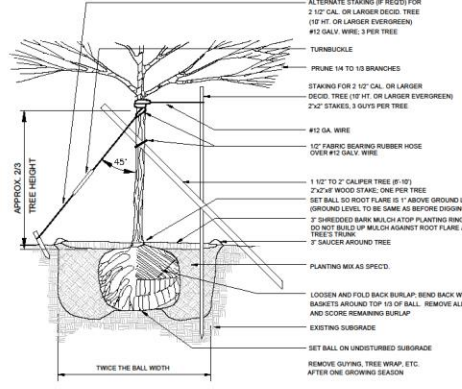
PREPARED FOR:
COMMONWEALTH COMPANIES
24 SOUTH BROOKE STREET
FOND DU LAC, WISCONSIN
(920) 922-8170

GARRETT SQUARE IMPROVEMENT PLANS
STORMWATER MANAGEMENT PLAN
CITY OF CLEVELAND, COUNTY OF CUYAHOGA,
STATE OF OHIO

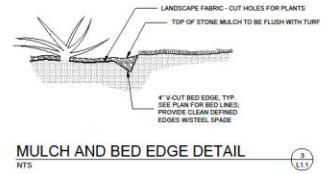
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JOB NO.
21-5697

LANDSCAPE NOTES

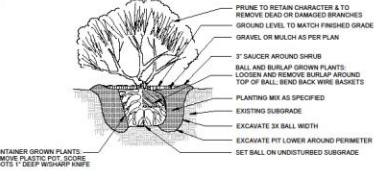
- ALL WORK TO BE IN ACCORDANCE WITH THE ACCEPTED PRACTICES OF THE AMERICAN ASSOCIATION OF LANDSCAPE CONTRACTORS.
- PRIOR TO INSTALLATION, INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUBGRADE, ELEVATIONS, UTILITY LOCATIONS, AND TOPSOIL. NOTIFY THE GENERAL CONTRACTOR OF ANY UNDESIRABLE CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED.
- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO ONSET OF WORK AND COORDINATE ACCORDINGLY WITH APPROPRIATE UTILITIES DEPARTMENTS. DO NOT INSTALL TREES WITHIN 4' OF BURIED UTILITY LINES. RELOCATE PLANT MATERIAL SUBJECTS IF NECESSARY. IN THE CASE OF A CONFLICT, NOTIFY LANDSCAPE ARCHITECT.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT AVAILABLE, CONTACT THE LANDSCAPE ARCHITECT FOR ACCEPTABLE ALTERNATIVE.
- ALL PLANT MATERIAL MUST BE FROM NURSERY SOURCE WITH A HARDNESS ZONE SIMILAR TO THAT OF THE PROJECT SITE. PLANTS SHALL BE TRUED TO GROUND AND SPECIES AS INDICATED ON THE PLANS. COMPLY WITH ANSI Z66.1 FOR THE TYPES AND FORM OF PLANT REQUIRED.
- ALL PLANTING BEDS TO RECEIVE 6" DEPTH PLANTING MIX AFTER FINAL GRADE IS ESTABLISHED. ALL BEDS ARE TO RECEIVE CLEAN FINE GRADED TOPSOIL, FREE OF ALL ROCKS AND DELETERIOUS DEBRIS. SHRUB AND PERENNIAL PLANTING PITS SHALL RECEIVE PLANTING MIX PER DETAILS THIS SHEET.
- PROVIDE 3" SHREDDED HARDWOOD MULCH 3" DEEP AT ALL PLANTING BEDS, TAKING CARE TO KEEP MULCH AWAY FROM TRUNKS AND ROOT FLARES OF ALL PLANTS. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR TO APPLY STARTER FERTILIZER PER SPECIFICATIONS OR APPROVED SIMILAR FOR ALL LAWN AND PLANTING BEDS.
- FINAL GRADES SHALL BE SMOOTH AND EVEN. PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE INTENDED DRAINAGE PATTERN OF THE FINAL GRADING PLAN. THIS MAY INCLUDE NOT PLACING PLANT MATERIALS IN DRAINS OR CREATING MOUND THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN. GRADES SHALL SLOPE A MINIMUM OF 2% AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED.
- PROVIDE 4" DEEP SPADE-OUT "Y" TRENCH ALONG BED EDGES UNLESS ADJACENT TO PAVEMENT.
- ALL MATERIALS TESTING SHALL BE THE SOLE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO PROPERLY WATER PLANT MATERIALS IMMEDIATELY UPON PLANTING.
- PLANT LIST IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND PROVIDING PLANT MATERIAL AS SHOWN ON PLANS. CONTRACTOR TO SEED ALL DISTURBED AREAS INCLUDING ADJACENT EXISTING LAWN AREAS THAT ARE IN DISREPAIR. DO NOT SEED UNTIL AREA HAS RECEIVED TOPSOIL AND IS AT FINISHED GRADE. SEEDING WORK SHALL RESULT IN A HEALTHY LAWN FREE OF WEEDS. GRASS SEED SHALL BE FRESH, CLEAR, DRY, WEED-FREE, OR APPROVED EQUAL, NOT LESS THAN 85 PERCENT GERMINATION, NOT LESS THAN 80 PERCENT PURE SEED, AND NOT MORE THAN 15 PERCENT WEED SEED. SEED SHALL BE PREMIUM QUALITY MIX WITH QUICK GERMINATION RATE OF:
 - 50% BLENDED BLUEGRASS
 - 25% CREEPING RED FESCUE
 - 25% PERENNIAL RYE
 OR APPROVED EQUAL. APPLY AT A RATE OF 5 LBS./1000 SF.



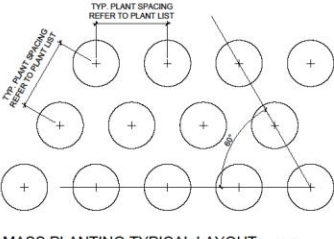
TREE PLANTING DETAIL
NTS



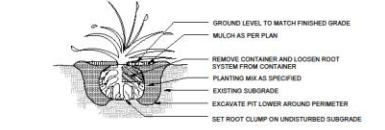
MULCH AND BED EDGE DETAIL
NTS



SHRUB PLANTING DETAIL
NTS



MASS PLANTING TYPICAL LAYOUT
NTS



PERENNIAL PLANTING DETAIL
NTS

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	NOTES/SPACING	QTY
TREES						
BE H	BETULA NIGRA 'SUNRA HEAT'	SUNRA HEAT SWISS BIRCH	2 1/2\"/>			

BOULEVARD STUDIOS
LANDSCAPE ARCHITECTS
11000 CLEVELAND AVENUE
CLEVELAND, OH 44122

COMMONWEALTH COMPANIES
MANAGED BY COMMONWEALTH CAPITAL GROUP PARTNERS
1282 EAST 128th STREET
CLEVELAND, OH 44112

GARRETT SQUARE SENIOR APTS.
1282 EAST 128th STREET
CLEVELAND, OH 44112

JOB NUMBER:
2021 62

SHEET:
L2

WINDOW SCHEDULE			
SYM.	MATL.	DESCRIPTION	NOTE UNIT
(A)	VINYL	SINGLE HUNG WINDOW	UNIT: 2'4" X 6'0"
(B)	VINYL	FIXED WINDOW (PANEL)	(2) FIXED UNIT: 2'4" X 6'0"
(C)	VINYL	SINGLE HUNG WINDOW W/ FIXED WINDOW	SLK UNIT: 2'4" X 6'0"
(D)	VINYL	ADA SINGLE HUNG WINDOW W/ FIXED WINDOW	SLK UNIT: 2'4" X 6'0"
(E)	VINYL	ADA SINGLE HUNG WINDOW	UNIT: 2'4" X 6'0"

ENERGY STAR WINDOWS
 *ASTM F1 INDICATED WINDOWS SHALL MEET MIN. SIZE REQUIREMENTS IN SLEEPING ROOMS PER IBC.
 *2" CLEAR WIDTH
 *2" CLEAR HEIGHT
 *1.5 MIN. S.P.
 PER IBC SAFETY GLASSING ALLOCATION TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 36" OF FLOOR MANUFACTURER SHALL REVIEW WINDOW LOCATIONS AND PROVIDE SAFETY GLASSING IN ALL LOCATIONS REQUIRED BY IBC. SEE THE UNIT FLOOR PLANS FOR ALL ADA WINDOW LOCATIONS. VERIFY LOCATIONS WITH OWNER.
 FLOOR UNITS DON'T STACK VERTICALLY.
 REFER TO SET FOR ADA WINDOW BANK REQUIREMENTS. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F2828.
 REFER TO SET FOR ADA WINDOW BANK OPERATIONS TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN. SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED. OPERABLE SECTIONS OF WINDOWS SHALL NOT FORM OPENINGS THAT ALLOW PASSAGE OF A 4-INCH DIAMETER (102 MM) SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 36 INCHES (914 MM) OF THE FINISHED FLOOR.

EXTERIOR COLOR SCHEDULE			
MATL.	MFR.	COLOR	
(1) VINYL HORIZONTAL SIDING (DOUBLE 4")	FLYSEN - MASTIC	WHITE	
(2) VINYL BOARD + BATTEN VERTICAL SIDING	FLYSEN - MASTIC	RUGGED CANYON	
(3) ENGINEERED WOOD PANEL SIDING W/ 8" BOARD + BATTEN	LP SWARTSIDE	RAPIDS BLUE	
(4) VINYL BOARD + BATTEN VERTICAL SIDING	FLYSEN - MASTIC	ENGLISH WEDGEWOOD	
(5) BRICK VENEER - 4" UTILITY	WATSONTOWN BRICK	SCARISCALE	
ENGINEERED WOOD CORNER TRIM - 1" X 3 1/2" (SMOOTH)	LP SWARTSIDE	MATCH ADJACENT MATERIAL	
ENGINEERED WOOD DOOR & WINDOW TRIM - 1" X 3 1/2" (SMOOTH)	LP SWARTSIDE	MATCH ADJACENT MATERIAL	
VINYL CORNER, WINDOW & DOOR TRIM	FLYSEN - MASTIC	MATCH ADJACENT MATERIAL	
ALUMINUM ENTRANCES AND STOREFRONTS	FAHNER	CLEAR ANODIZED	
BALCONY DOOR	THEMA-FIN	WHITE	
VINYL WINDOWS	QUAKER	WHITE	
EXTERIOR ALUMINUM RAILINGS	FORTRESS	BLACK SAND	
ALUMINUM COPINGS, FASCIA, AND DRIP EDGE	ACW	MATCH SIDING COLOR	
SCAFFOLD, DOWNPOUTS, ETC.	WELCO	MATCH BRICK COLOR	
MISC. LIGHTING AND VENTS	PAINTED	MATCH ADJACENT MATERIAL	

EXTERIOR COLOR NOTES:
 * ALL MATERIALS AND COLORS TO BE SUBMITTED AND APPROVED BY ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
 * ALL PROPOSED RANGE HOOD VENTS, DRYER VENTS, AND BATHROOM VENTS TO EXTERIOR SHALL BE PAINTED TO MATCH ADJACENT MATERIAL COLOR AS APPROVED BY ARCHITECT. ENSURE SYMMETRICAL AND THOUGHTFUL DESIGN TO STACK EXHAUST VENTS IN ORDER TO INTEGRATE W/ OVERALL ELEVATIONS.



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

WEST ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

SHEET ISSUE:
 OCTOBER 28, 2022
 REVISIONS:

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 24 SOUTH WOODBINE STREET
 COLUMBUS, OH 43260
 614.291.1100

odg
 OHIO DESIGN GROUP

COMMONWEALTH COMPANIES
 74 SOUTH WOODBINE STREET
 COLUMBUS, OH 43260
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THE COMMONWEALTH COMPANIES

GARRETT SQUARE SENIOR APTS.
 1222 EAST 129th STREET
 CLEVELAND, OH 44112

JOB NUMBER:
 2021.62
 SHEET
 A2.1

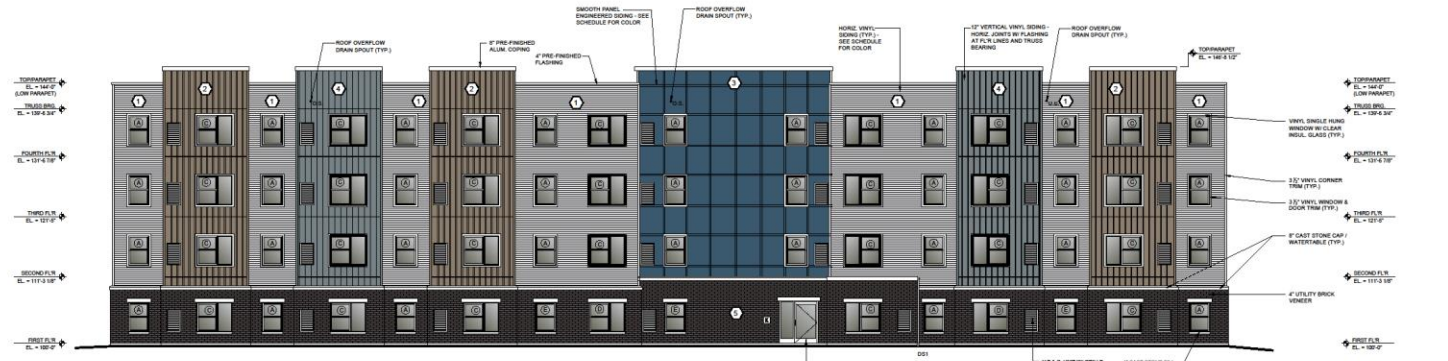
EAST, WEST, SOUTH ELEVATIONS

WINDOW SCHEDULE			
SYM.	MATL.	DESCRIPTION	HOW UNIT SIZE (sq. ft.)
(A)	VINYL	SINGLE HUNG WINDOW	UNIT: 2'-0" X 3'-0"
(B)	VINYL	SINGLE HUNG WINDOW (AIR)	(2) FIXED UNIT: 2'-4" X 3'-0"
(C)	VINYL	SINGLE HUNG WINDOW W/ FIXED WINDOW	S/LA. UNIT: 2'-4" X 3'-0" FIXED UNIT: 2'-4" X 3'-0"
(D)	VINYL	ADA SINGLE HUNG WINDOW W/ FIXED WINDOW	S/LA. UNIT: 2'-4" X 3'-0" FIXED UNIT: 2'-4" X 3'-0"
(E)	VINYL	ADA SINGLE HUNG WINDOW	UNIT: 2'-4" X 3'-0"

ENERGY STAR WINDOWS:
 *ASTM F1188 INDICATED WINDOWS SHALL MEET MIN. SIZE REQUIREMENTS IN SLEEPING ROOMS PER IBC.
 *2" CLEAR WIDTH
 *2" CLEAR HEIGHT
 *PER IBC 703.5.1, FLASHING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 3"
 *WINDOW MANUFACTURER SHALL REVEAL WINDOW LOCATIONS AND PROVIDE SAFETY GLACING IN ALL LOCATIONS REQUIRED BY IBC.
 *SEE TYP. UNIT FLOOR PLANS FOR ALL ADA WINDOW LOCATIONS. VERIFY LOCATIONS WITH OWNER. FLOOR PLANS FIRST
 FLOOR UNITS ONLY IF NOT VERTICALLY
 *REFER TO DETAILS FOR ADA WINDOW DESIGN REQUIREMENTS. WINDOW OPERATING CONTROL DEVICES SHALL COMPLY WITH ASTM F382.
 *THE WINDOW OPERATING CONTROL DEVICE, AFTER OPERATOR TO RELEASE THE CONTROL, SHALL ALLOW THE WINDOW TO
 FULLY OPEN. SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA
 SPECIFIED REQUIREMENT. OPERABLE PORTIONS OF WINDOWS SHALL NOT FORM OPENINGS THAT ALLOW PASSAGE OF A
 4 INCH DIAMETER (102 MM) SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 36 INCHES (914 MM) OF THE FINISHED FLOOR.

EXTERIOR COLOR SCHEDULE			
MATL.	MFR.	COLOR	
(1) VINYL HORIZONTAL SIDING (DOUBLE F)	PLYDEM - MASTIC	WHITE	
(2) VINYL BOARD + BATTEN VERTICAL SIDING	PLYDEM - MASTIC	RUGGED CANYON	
(3) ENGINEERED WOOD PANEL SIDING W/ (W/ BOARD + BATTEN	LP SWARTSIDE	RANDED BLUE	
(4) VINYL BOARD + BATTEN VERTICAL SIDING	PLYDEM - MASTIC	ENGLISH WEDGEWOOD	
(5) BRICK VENEER - 4" UTILITY	WATSON TOWN BRICK	SCARSDALE	
ENGINEERED WOOD CORNER TRIM - 1" X 3 1/2" (SMOOTH)	LP SWARTSIDE	MATCH ADJACENT MATERIAL	
ENGINEERED WOOD DOOR & WINDOW TRIM - 1" X 3 1/2" (SMOOTH)	LP SWARTSIDE	MATCH ADJACENT MATERIAL	
VINYL CORNER, WINDOW, & DOOR TRIM	PLYDEM - MASTIC	MATCH ADJACENT MATERIAL	
ALUMINUM ENTRANCES AND STOREFRONTS	SUNBLEN	CLASH ANODIZED	
BALCONY DOOR	THEMA TRU	WHITE	
VINYL WINDOWS	QUAKER	WHITE	
EXTERIOR ALUMINUM RAILINGS	FORTRESS	BLACK SAND	
ALUMINUM COPINGS, FASCIA, AND DRIP EDGE	ACM	MATCH SIDING COLOR	
SCUPPERS, DOWNPOUTS, ETC.	WELCO	MATCH BRICK COLOR	
MISC. LIGHTING AND VENTS	PAINTED	MATCH ADJACENT MATERIAL	

EXTERIOR COLOR NOTES:
 * ALL MATERIALS AND COLORS TO BE SUBMITTED AND APPROVED BY ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
 * ALL PROPOSED RANGE HOOD VENTS, DRYER VENTS, AND BATHROOM VENTS TO EXTERIOR SHALL BE PAINTED TO MATCH ADJACENT MATERIAL COLOR AS APPROVED BY ARCHITECT. ENSURE SYNTHETIC AND TIDY/SHIFTLY DESIGN TO STACK EXHAUST VENTS IN ORDER TO INTEGRATE W/ OVERALL ELEVATIONS.



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

SHEET ISSUE:
 OCTOBER 28, 2022
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 1282 EAST 128th STREET
 CLEVELAND, OH 44112

JOB NUMBER:
 2021.62
 SHEET:
 A2.0

NORTH ELEVATION

FLOOR PLAN NOTES:

- ALL UNITS ACCESSIBLE BY THE GROUND FLOOR OR BY ELEVATOR SHALL COMPLY WITH THE VISIBILITY REQUIREMENTS OF 10.10 (B)(3)(iv)
- ALL INTERIOR DOORS ARE FROM FACE OF STUDIO TO FACE OF STUDIO.
- PROVIDE VISUAL AND AUDIBLE EMERGENCY ALARM SYSTEM THROUGHOUT PUBLIC AND COMMON USE AREAS OF BUILDING.
- VERIFY FLOOR BLDG REQUIREMENTS AND LOCATIONS WITH THE FIRE DEPARTMENT.

TYPICAL FLOOR PLAN SYMBOLS:

- NEW STUD WALL CONSTRUCTION
 - 1 HOUR RATED PARTITION
 - 2 HOUR RATED FIRE BARRIER
 - WALL TYPE - SEE AS SHEETS
 - SEE ENLARGED PLANS FOR ADDITIONAL CALLOUTS
 - HEARING VISUALLY IMPAIRED UNIT
 - ACCESSIBLE UNIT DESIGNATION
 - AUTOMATIC DOOR OPENER
 - VOICE INTERCOM CONNECTED TO TENANTS PHONE BY METHOD OF OPENING DOOR
 - ACCESS CONTROL - SEE SPEC
 - KEY LOCK (NO KEY BOX) - VERIFY FINAL LOCATION W/ LOCAL F.D.
 - EXIT SIGN
 - SECURITY CAMERA LOCATION - VERIFY W/ OWNER
 - 5# FIRE EXTINGUISHER
 - 5# FIRE EXTINGUISHER W/ CABINET - SEE AS SHEETS
 - ROOM CAPACITY SIGN - MOUNT W/ ETH. AT 4' A.F.F. - SEE DETAIL 10A.1
 - ROOM RULER SIGN - MOUNT W/ ETH. AT 4' A.F.F. - SEE DETAIL 10A.1
- SEE ELECTRICAL PLANS FOR ALL FIRE-ALARM, SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING LOCATIONS. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING, SUBMITTAL, AND ASSOCIATED COST.

SHEET ISSUE:
OCTOBER 28, 2022

REVISIONS:

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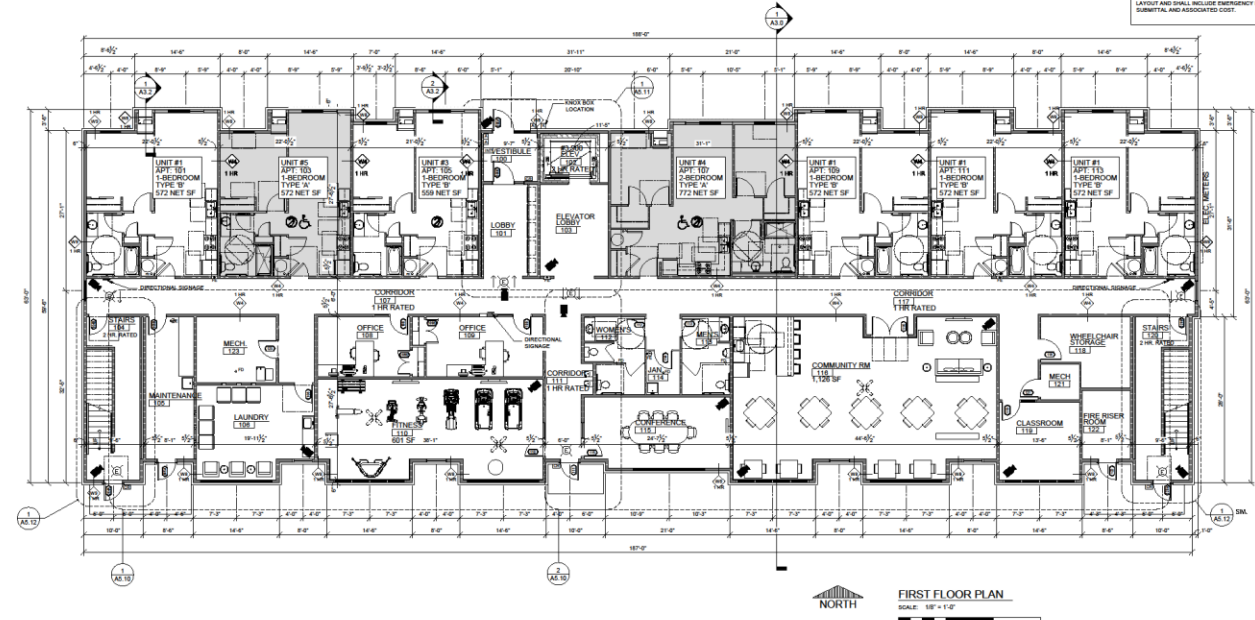
COMMONWEALTH COMPANIES
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GARRETT SQUARE SENIOR APTS.
1222 EAST 125TH STREET
CLEVELAND, OH 44112

JOB NUMBER:
2021.62

SHEET:
A1.1



FIRST FLOOR PLAN

FLOOR PLAN NOTES:

- ALL UNITS ACCESSIBLE BY THE GROUND FLOOR OR BY ELEVATOR SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF 10.10 (B) (5) (VI)
- ALL EXTERIOR DOORS ARE FROM FACE-OF-STUDIO TO FACE-OF-STUDIO.
- PROVIDE VISUAL AND AUDIBLE EMERGENCY ALARM SYSTEM THROUGHOUT PUBLIC AND COMMON USE AREAS OF BUILDING.
- VERIFY FLOOR BORN REQUIREMENTS AND LOCATIONS WITH THE FIRE DEPARTMENT.

TYPICAL FLOOR PLAN SYMBOLS:

- NEW STUDIO WALL CONSTRUCTION
 - UNION RATED PARTITION
 - CHURCH RATED FIRE BARRIER
 - WALL TYPE - SEE AS SHEETS
 - SEE ENLARGED PLANS FOR ADDITIONAL CALL-OUTS
 - HEARING VISUALLY IMPAIRED UNIT
 - ACCESSIBLE UNIT DESIGNATION
 - AUTOMATIC DOOR OPENER
 - VOICE INTERCOM CONNECTED TO TENANTS PHONE BY METHOD OF OPENING DOOR
 - ACCESS CONTROL - SEE SPEC
 - KEY LOCK (ON-KEY BOX) - VERIFY FINAL LOCATION W/ LOCAL F.D.
 - EXIT SIGN
 - SECURITY CAMERA LOCATION - VERIFY W/ OWNER
 - 34 FIRE EXTINGUISHER
 - 34 FIRE EXTINGUISHER W/ CABINET - SEE AS SHEETS
 - ROOM JANITRY SIGN - MOUNT W/ BTH. AT 4' A.F.F. - SEE DETAIL 10A.1
 - ROOM RILED DOOR - MOUNT W/ BTH. AT 4' A.F.F. - SEE DETAIL 10A.1
- SEE ELECTRICAL PLANS FOR ALL FIRE-ALARM, SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING LOCATIONS. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

SHEET ISSUE:
OCTOBER 28, 2022

REVISIONS:

OHIO DESIGN GROUP
24 SOUTH WOODS STREET
PO BOX 1416
CINCINNATI, OH 45201-0146
PH: 513.763.1100
WWW.ODGDESIGN.COM



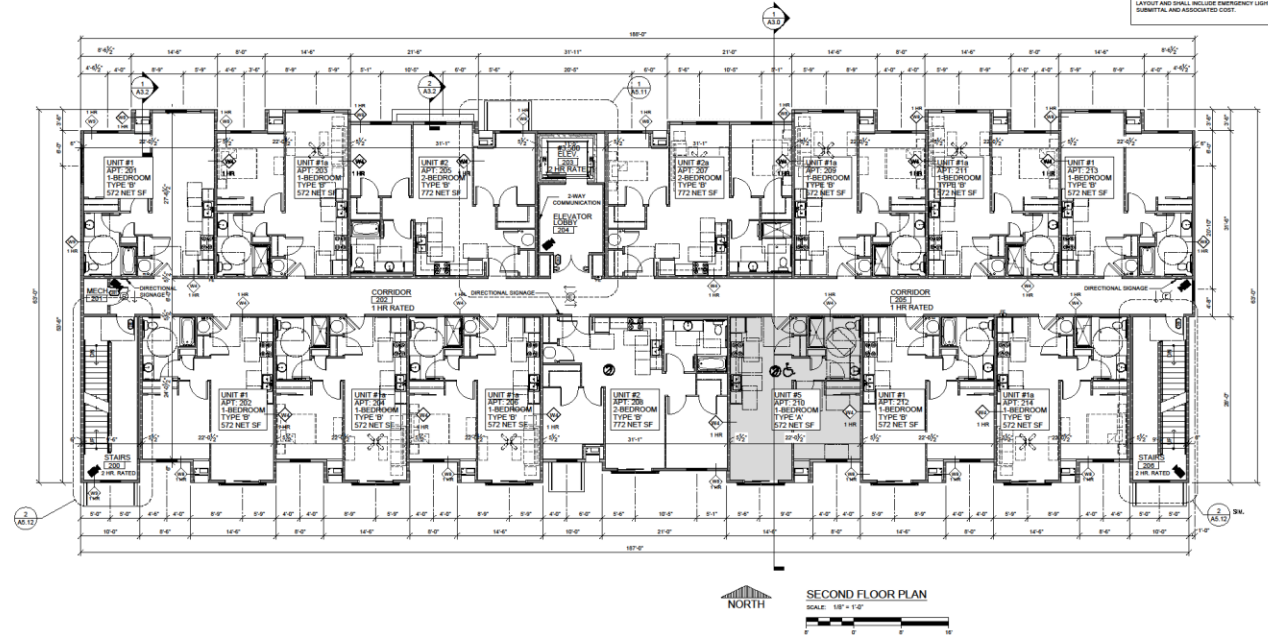
COMMONWEALTH COMPANIES
24 SOUTH WOODS STREET
PO BOX 1416
CINCINNATI, OH 45201-0146
PH: 513.763.1100
WWW.COMMONWEALTHCOMPANIES.COM



GARRETT SQUARE SENIOR APTS.
1282 EAST 129TH STREET
CLEVELAND, OH 44112

JOB NUMBER:
2021.62

SHEET:
A1.2



SECOND FLOOR PLAN

FLOOR PLAN NOTES:

- ALL UNITS ACCESSIBLE BY THE GROUND FLOOR OR BY ELEVATOR SHALL COMPLY WITH THE VISIBILITY REQUIREMENTS OF 510.10(B)(5)(VI)
- ALL EXTERIOR DOORS ARE FROM FACE-OF-STUDIO TO FACE-OF-STUDIO.
- PROVIDE VISUAL AND AUDIBLE EMERGENCY ALARM SYSTEM THROUGHOUT PUBLIC AND COMMON USE AREAS OF BUILDING.
- VERIFY FLOOR BOLD REQUIREMENTS AND LOCATIONS WITH THE FIRE DEPARTMENT.

TYPICAL FLOOR PLAN SYMBOLS:

- NEW STUDIO WALL CONSTRUCTION
- UNIDIRECTIONAL PARTITION
- BIDIRECTIONAL PARTITION
- WALL TYPE - SEE AS SHEETS
- HEARING - VISUALLY IMPAIRED UNIT
- ACCESSIBLE UNIT DESIGNATION
- AUTOMATIC DOOR OPENER
- VOICE INTERCOM CONNECTED TO TENANTS PHONE BY METHOD OF OPENING DOOR
- ACCESS CONTROL - SEE SPEC
- KEY LOCK (ON-KEY) - VERIFY FINAL LOCATION W/ LOCAL F.D.
- EXIT SIGN
- SECURITY CAMERA LOCATION - VERIFY W/ OWNER
- 3A FIRE EXTINGUISHER
- 3B FIRE EXTINGUISHER W/ CABINET - SEE AS SHEETS
- ROOM JANITRY SIGN - MOUNT W/ BTH. AT 4' A.P.F. - SEE DETAIL 10A.1
- ROOM RILED DOOR - MOUNT W/ BTH. AT 4' A.P.F. - SEE DETAIL 10A.1

SEE ELECTRICAL PLANS FOR ALL FIRE-ALARM, SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING LOCATIONS. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING SUBMITTAL AND ASSOCIATED COST.

SHEET ISSUE:

OCTOBER 28, 2022

REVISIONS:

OHIO DESIGN GROUP
 24 SOUTH WOODS STREET
 FOSTON, OH 44130
 216.287.5771 FAX: 216.287.5772



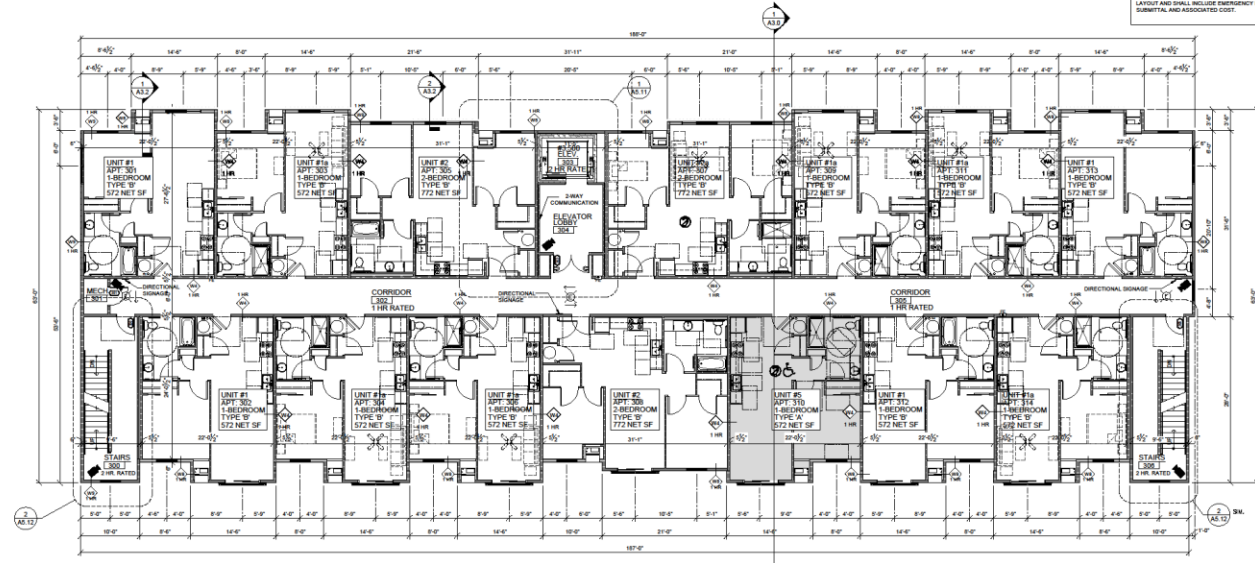
COMMONWEALTH COMPANIES
 24 SOUTH WOODS STREET
 FOSTON, OH 44130
 216.287.5771 FAX: 216.287.5772



GARRETT SQUARE SENIOR APTS.
 1232 EAST 129TH STREET
 CLEVELAND, OH 44112

JOB NUMBER:
2021.62

SHEET:
A1.3



THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

THIRD FLOOR PLAN

FLOOR PLAN NOTES:

- ALL UNITS ACCESSIBLE BY THE GROUND FLOOR OR BY ELEVATOR SHALL COMPLY WITH THE VISIBILITY REQUIREMENTS OF 510.10(B)(5)(VI)
- ALL INTERIOR DOORS ARE FROM FACE-OF-STUDIO TO FACE-OF-STUDIO.
- PROVIDE VISUAL AND AUDIBLE EMERGENCY ALARM SYSTEM THROUGHOUT PUBLIC AND COMMON USE AREAS OF BUILDING.
- VERIFY FLOOR BOSS REQUIREMENTS AND LOCATIONS WITH THE FIRE DEPARTMENT.

TYPICAL FLOOR PLAN SYMBOLS:

- NEW STUDO WALL CONSTRUCTION
- UNION RATED PARTITION
- CHLOOR RATED FIRE BARRIER
- WALL TYPE - SEE AS SHEETS
- SEE ELECTRICAL PLANS FOR ADDITIONAL SCHEDULES
- HEARING VISUALLY IMPAIRED UNIT
- ACCESSIBLE UNIT DESIGNATION
- AUTOMATIC DOOR OPENER
- VOICE INTERCOM CONNECTED TO TENANTS PHONE BY METHOD OF OPENING DOOR
- ACCESS CONTROL - SEE SPEC
- KEY LOCK (ON/KEY BOX) VERIFY FINAL LOCATION W/ LOCAL F.D.
- EXIT SIGN
- SECURITY CAMERA LOCATION - VERIFY W/ OWNER
- 54 FIRE EXTINGUISHER
- 54 FIRE EXTINGUISHER W/ CABINET - SEE AS SHEETS
- ROOM JANITRY SIGN - MOUNT W/ BTH. AT 48" A.F.F. - SEE DETAIL 10A.1
- ROOM RILED DOOR - MOUNT W/ BTH. AT 48" A.F.F. - SEE DETAIL 10A.1

SEE ELECTRICAL PLANS FOR ALL FIRE-ALARM, SMOKE DETECTOR, HEAT DETECTOR AND EMERGENCY LIGHTING LOCATIONS. CONTRACTOR SHALL PROVIDE CODE-COMPLIANT LAYOUT AND SHALL INCLUDE EMERGENCY LIGHTING, SUBMITTAL, AND ASSOCIATED COST.

SHEET ISSUE:

OCTOBER 28, 2022

REVISIONS:

OHIO DESIGN GROUP
 24 SOUTH WOODS STREET
 FORT LAUDERDALE, FL 33309
 954.575.7777 FAX: 954.575.7778

odg
 OHIO DESIGN GROUP
 24 SOUTH WOODS STREET
 FORT LAUDERDALE, FL 33309
 954.575.7777 FAX: 954.575.7778

COMMONWEALTH COMPANIES
 74 SOUTH WOODS STREET
 FORT LAUDERDALE, FL 33309
 954.575.7777 FAX: 954.575.7778



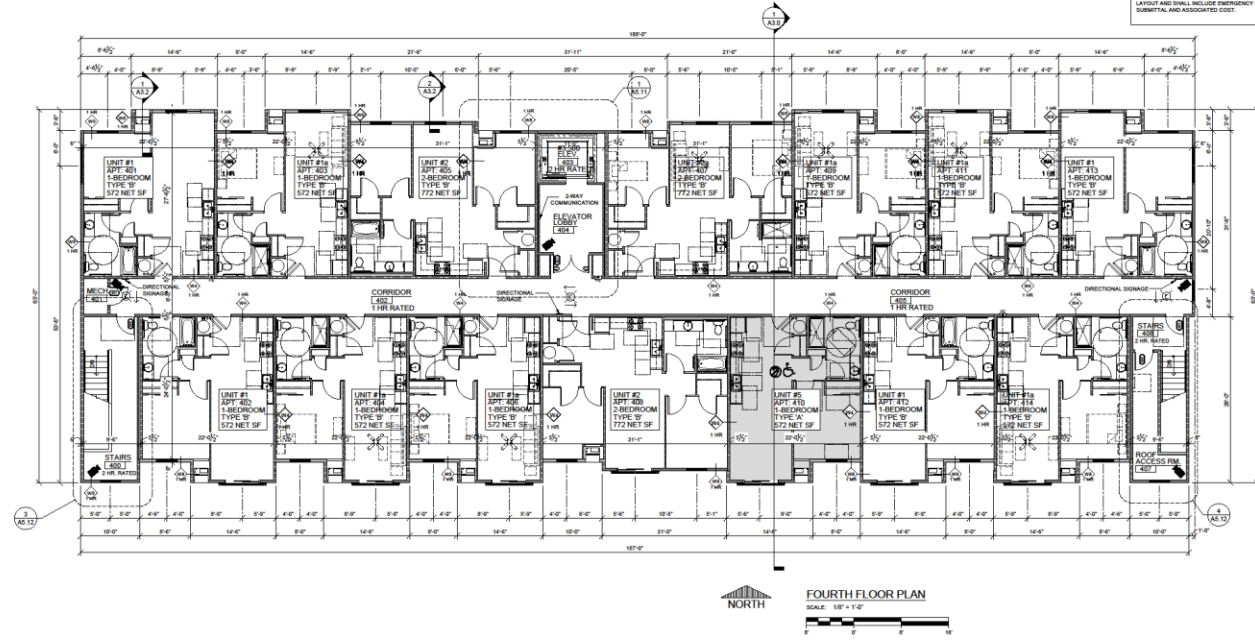
GARRETT SQUARE SENIOR APTS.
 1232 EAST 129th STREET
 CLEVELAND, OH 44112

JOB NUMBER:

2021.62

SHEET

A1.4



FOURTH FLOOR PLAN

Comparable Affordable & Market-Rate Housing Developments

Buckeye Commons – 11529 Buckeye Road



Glenville Circle North – 1400 East 105th Street



Mercedarian Plaza – 3229 Fulton Road



A Place for Us – 11610 Madison Avenue





Garrett Square Senior Apartments

Revised Site & Landscape Plan

11/14/2022

NOTES:

- ALL DIMENSIONS TO THE EDGE OF PAVEMENT, BACK OF CURB, FACE OF BUILDING, & FACE OF WALL UNLESS OTHERWISE STATED.
- ALL PAVEMENT AND SITE WORK SHALL CONFORM TO O.D.O.T., AND CITY OF CLEVELAND STANDARD CONSTRUCTION DRAWINGS.
- ALL EARTHWORK, SUBGRADE PREPARATION, & BACKFILL REQUIREMENTS SHALL BE MONITORED BY A CERTIFIED GEOTECHNICAL ENGINEER.
- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON PRIOR TO CONSTRUCTION.
- CONTRACTOR TO NOTIFY THE CITY OF CLEVELAND AND SITE OWNERS AUTHORIZED REPRESENTATIVE A MINIMUM OF TWENTY-FOUR (24) HOURS BEFORE BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY BOTH PRIVATE & PUBLIC PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY EXISTING ITEMS AND/OR MATERIALS INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE/MAY BE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN. NONMEMBERS MUST BE CONTACTED DIRECTLY.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, AND STAKES.
- PRIOR TO PLACEMENT OF ENGINEERED FILL, FLOOR SLABS OR PAVEMENTS ON THE SITE GENERAL SITE CLEARING SHOULD BE CARRIED OUT SUFFICIENT TO REMOVE ALL UNSUITABLE MATERIALS INCLUDING SOFT, LOOSE, EXCESSIVELY WET SOILS, HIGHLY ORGANIC SOILS AND OTHER DELETERIOUS MATERIALS. AREAS OF PROPOSED BUILDING PADS AND PAVEMENTS SHALL BE PROOF ROLLED TO EVALUATE STABILITY OF EXISTING SOILS. ONSITE NATURAL SOILS CAN BE REUSED AS ENGINEERED FILL WITH APPROPRIATE MOISTURE CONTEXT CONTROL, SO AS TO ACHIEVE THE REQUIRED DEGREE OF COMPACTION.
- ENGINEERED FILL FOR THE BUILDING PAD AND PAVEMENT SHOULD BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698). LOOSE FILL SHOULD BE PLACED IN MAXIMUM OF 8" LIFTS AND COMPACTED WITHIN A RANGE OF 2% ABOVE OR BELOW THE OPTIMUM MOISTURE CONTENT. WITHIN BUILDING PAD THE UPPER 2 FEET OF FLOOR SLAB SUBGRADE SHOULD BE COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY AND WITH A RANGE OF 2% ABOVE OR BELOW THE OPTIMUM MOISTURE CONTENT.
- THE CONTRACTOR SHALL PROVIDE JOINTS IN CONCRETE PAVEMENT INCLUDING CONSTRUCTION JOINTS, ISOLATION JOINTS, EXPANSION JOINTS AND CONTRACTION JOINTS AS REQUIRED. THE CONTRACTOR SHALL SUBMIT A PROPOSED JOINTING PLAN TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION.

ZONING CLASSIFICATION

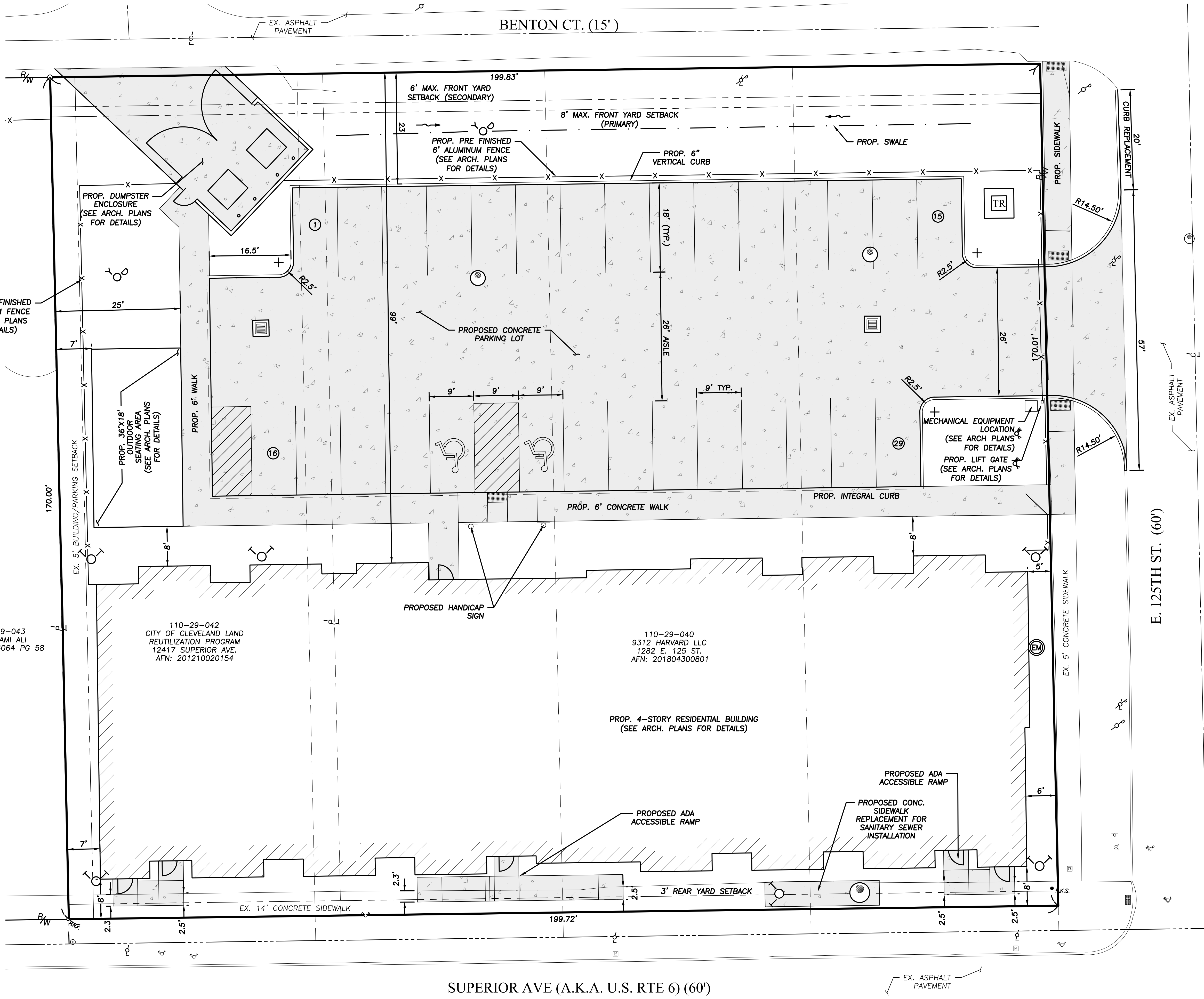
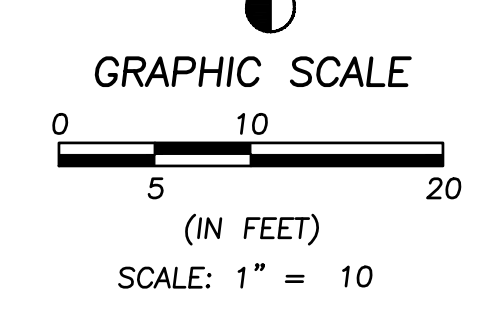
THE SUBJECT PREMISES IS LOCATED WITHIN ZONE "LOCAL RETAIL BUSINESS WITH OVERLAY FRONTAGE LINES ASSOCIATED OVERLAY: URBAN FORM OVERLAY AND FRONTAGE TYPE: URBAN FRONTAGE LINE (MU)"(LR-G2 DISTRICT) AS SHOWN ON THE ZONE MAP OF THE CITY OF CLEVELAND.

LOT REQUIREMENTS:
 MINIMUM FRONT YARD SETBACK: 8' MAX. (PRIMARY), 6' MAX. (SECONDARY)
 MINIMUM SIDE YARD SETBACK: NONE
 MINIMUM REAR YARD SETBACK: 3' MIN.

PARKING REQUIREMENTS:
 URBAN FORM OVERLAY: 25 REQUIRED SPACES
 29 PROVIDED SPACES (2 H.C. ACCESSIBLE)

HATCH LEGEND

PROPOSED CONCRETE PAVEMENT



110-29-043
SAM SAMI ALI
VOL 94-06064 PG 58

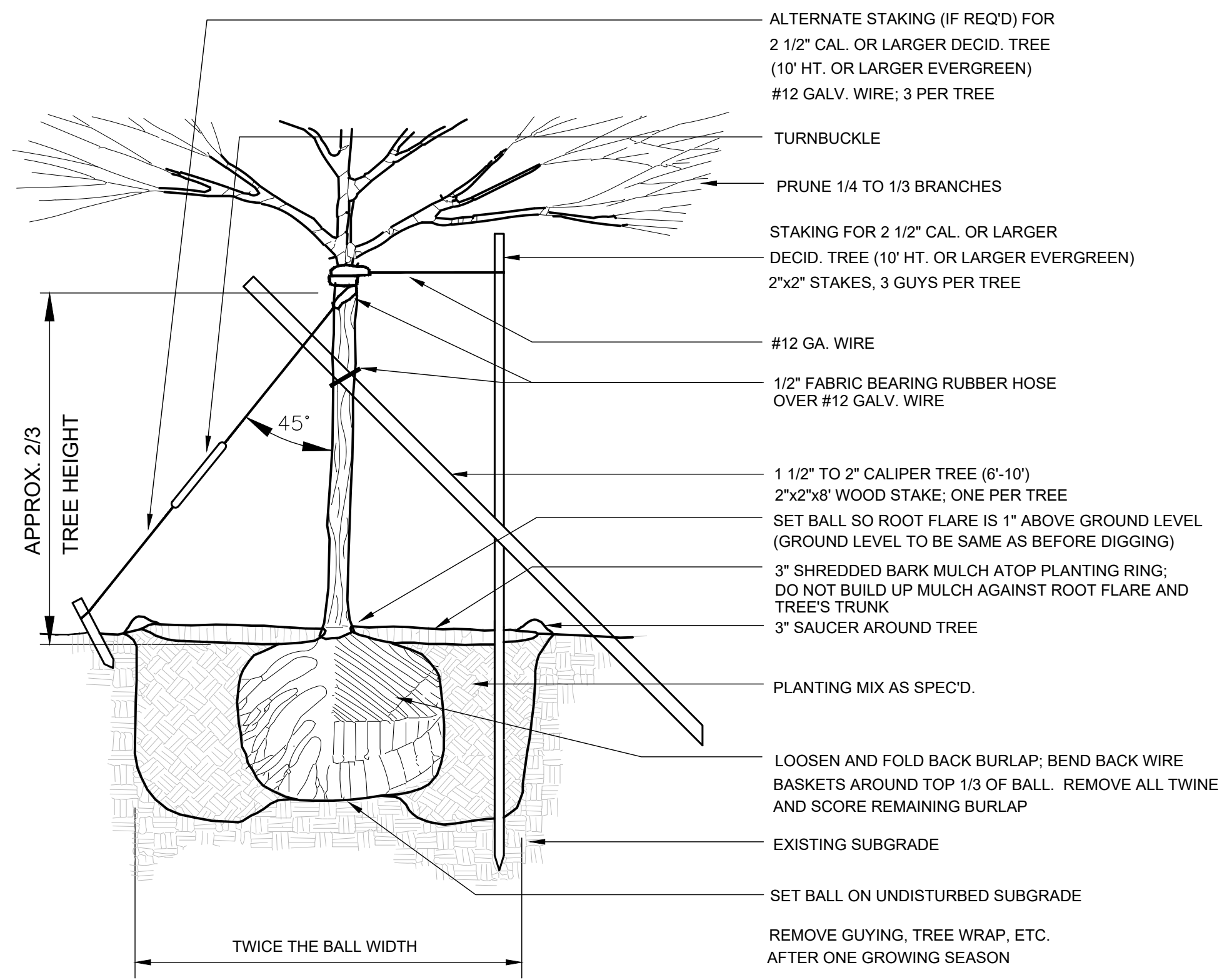
110-29-042
CITY OF CLEVELAND LAND
REUTILIZATION PROGRAM
12417 SUPERIOR AVE.
AFN: 201210020154

110-29-040
9312 HARVARD LLC
1282 E. 125 ST.
AFN: 201804300801

PROP. 4-STORY RESIDENTIAL BUILDING
(SEE ARCH. PLANS FOR DETAILS)

LANDSCAPE NOTES

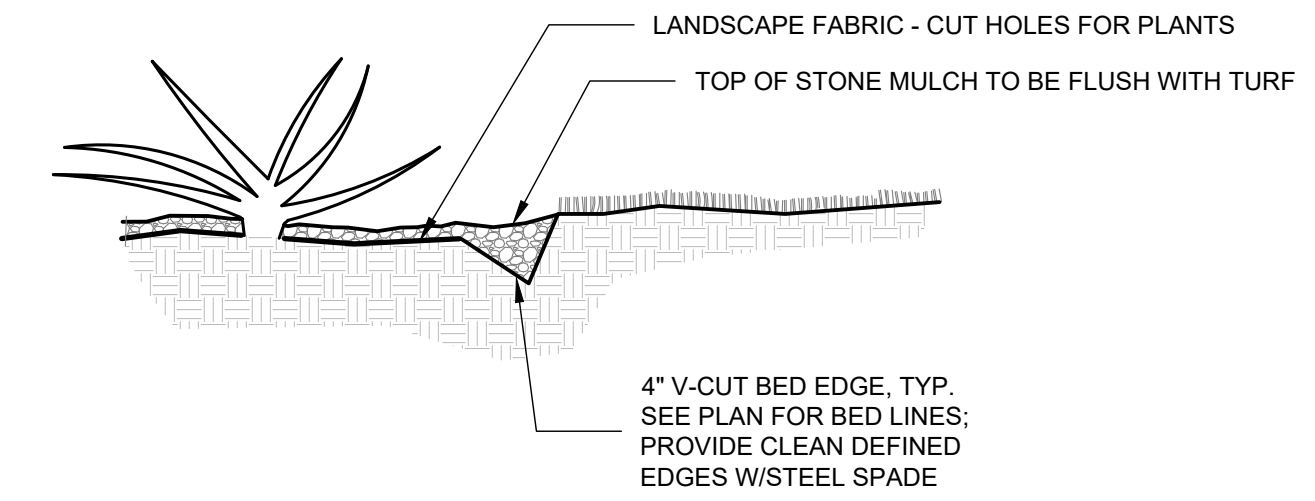
- ALL WORK TO BE IN ACCORDANCE WITH THE ACCEPTED PRACTICES OF THE AMERICAN ASSOCIATION OF LANDSCAPE CONTRACTORS.
- PRIOR TO INSTALLATION, INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUBGRADE, ELEVATIONS, UTILITY LOCATIONS, AND TOPSOIL. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS; WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED.
- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO ONSET OF WORK AND COORDINATE ACCORDINGLY WITH APPROPRIATE UTILITIES' DEPARTMENTS. DO NOT INSTALL TREES WITHIN 4' OF BURIED UTILITY LINES. RELOCATE PLANT MATERIAL SLIGHTLY IF NECESSARY. IN THE CASE OF A CONFLICT, NOTIFY LANDSCAPE ARCHITECT.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT AVAILABLE, CONTACT THE LANDSCAPE ARCHITECT FOR ACCEPTABLE ALTERNATIVE.
- ALL PLANT MATERIAL MUST BE FROM NURSERY SOURCE WITH A HARDINESS ZONE SIMILAR TO THAT OF THE PROJECT SITE. PLANTS SHALL BE TRUE TO GENUS AND SPECIES AS INDICATED ON THE PLANS, COMPLYING WITH ANSI Z60.1 FOR THE TYPES AND FORM OF PLANTS REQUIRED.
- ALL PLANTING BEDS TO RECEIVE 6" DEPTH PLANTING MIX AFTER FINAL GRADE IS ESTABLISHED. ALL SEEDED AREAS TO RECEIVE CLEAN FINE GRADED TOPSOIL, FREE OF ALL ROCKS AND DELETERIOUS DEBRIS. SHRUB AND PERENNIAL PLANTING PITS SHALL RECEIVE PLANTING MIX PER DETAILS, THIS SHEET.
- PROVIDE SHREDDED HARDWOOD MULCH 3" DEEP AT ALL PLANTING BEDS, TAKING CARE TO KEEP MULCH AWAY FROM CROWNS AND ROOT FLARES OF ALL PLANTS. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR TO APPLY STARTER FERTILIZER PER SPECIFICATIONS OR APPROVED SIMILAR FOR ALL LAWN AND PLANTING BEDS.
- FINAL GRADES SHALL BE SMOOTH AND EVEN. PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE INTENDED DRAINAGE PATTERN OF THE FINAL GRADING PLAN. THIS MAY INCLUDE NOT PLACING PLANT MATERIALS IN SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN. GRADES SHALL SLOPE A MINIMUM OF 2% AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED.
- PROVIDE 4" DEEP SPADE-CUT "V" TRENCH ALONG BED EDGES UNLESS ADJACENT TO PAVEMENT.
- ALL MATERIALS TESTING SHALL BE THE SOLE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO PROPERLY WATER PLANT MATERIALS IMMEDIATELY UPON PLANTING.
- PLANT LIST IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND PROVIDING PLANT MATERIAL AS SHOWN ON PLANS.
- CONTRACTOR TO SEED ALL DISTURBED AREAS INCLUDING ADJACENT EXISTING LAWN AREAS THAT ARE IN DISREPAIR. DO NOT BEGIN UNTIL AREA HAS RECEIVED TOPSOIL AND IS AT FINISHED GRADE. SEEDING WORK SHALL RESULT IN A HEALTHY LAWN FREE OF WEEDS. GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED, OR APPROVED EQUAL, NOT LESS THAN 85 PERCENT GERMINATION, NOT LESS THAN 95 PERCENT PURE SEED, AND NOT MORE THAN 0.5 PERCENT WEED SEED. SEED SHALL BE PREMIUM QUALITY MIX WITH QUICK GERMINATION RATE OF
 - 50% BLENDED BLUEGRASS
 - 25% CREEPING RED PESCUE
 - 25% PERENNIAL RYE
 OR APPROVED EQUAL. APPLY AT A RATE OF 5 LBS./1000 SF.



TREE PLANTING DETAIL

NTS

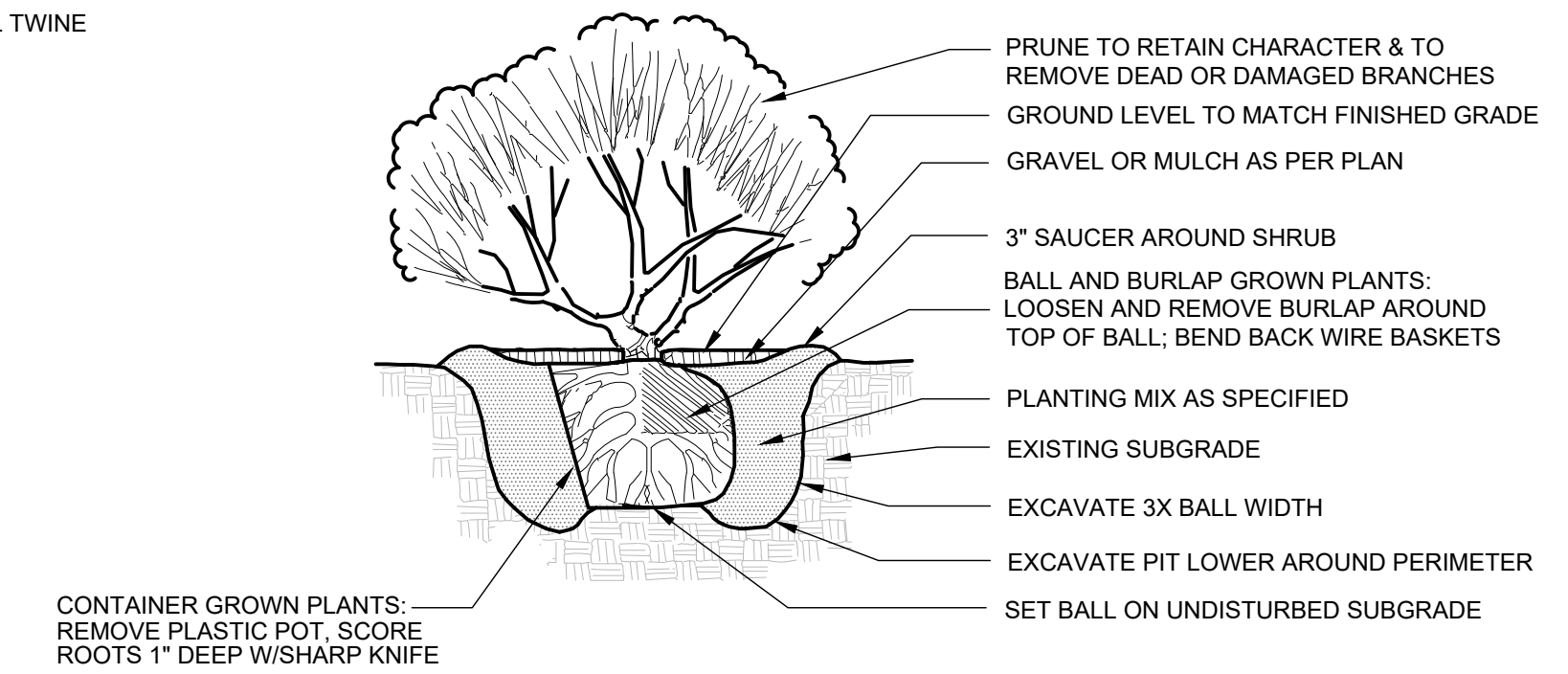
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L1.1



MULCH AND BED EDGE DETAIL

NTS

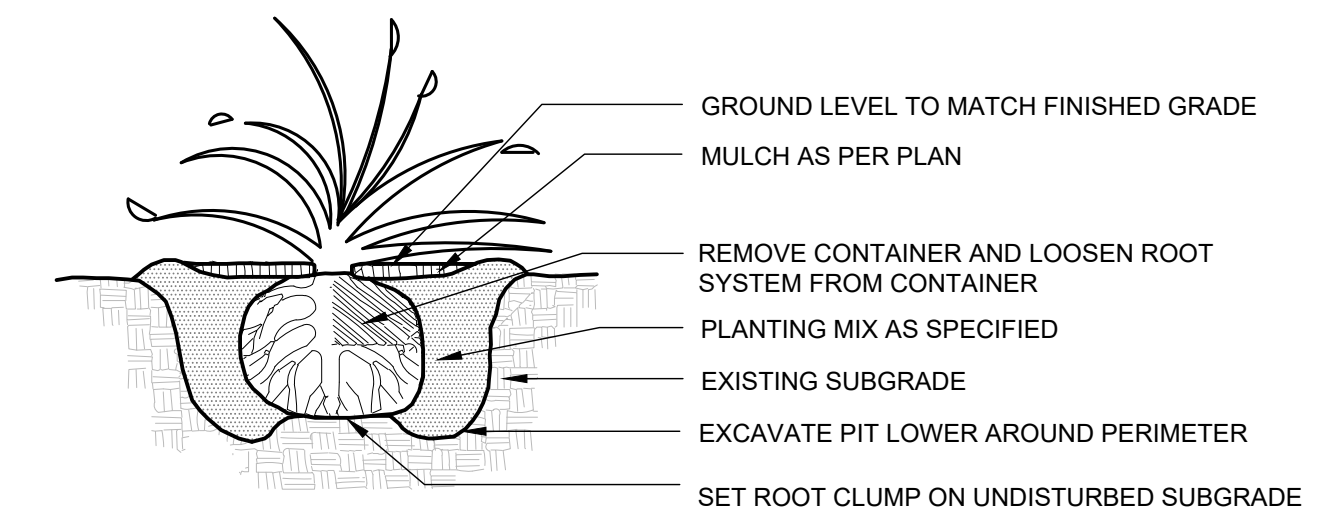
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SHRUB PLANTING DETAIL

NTS

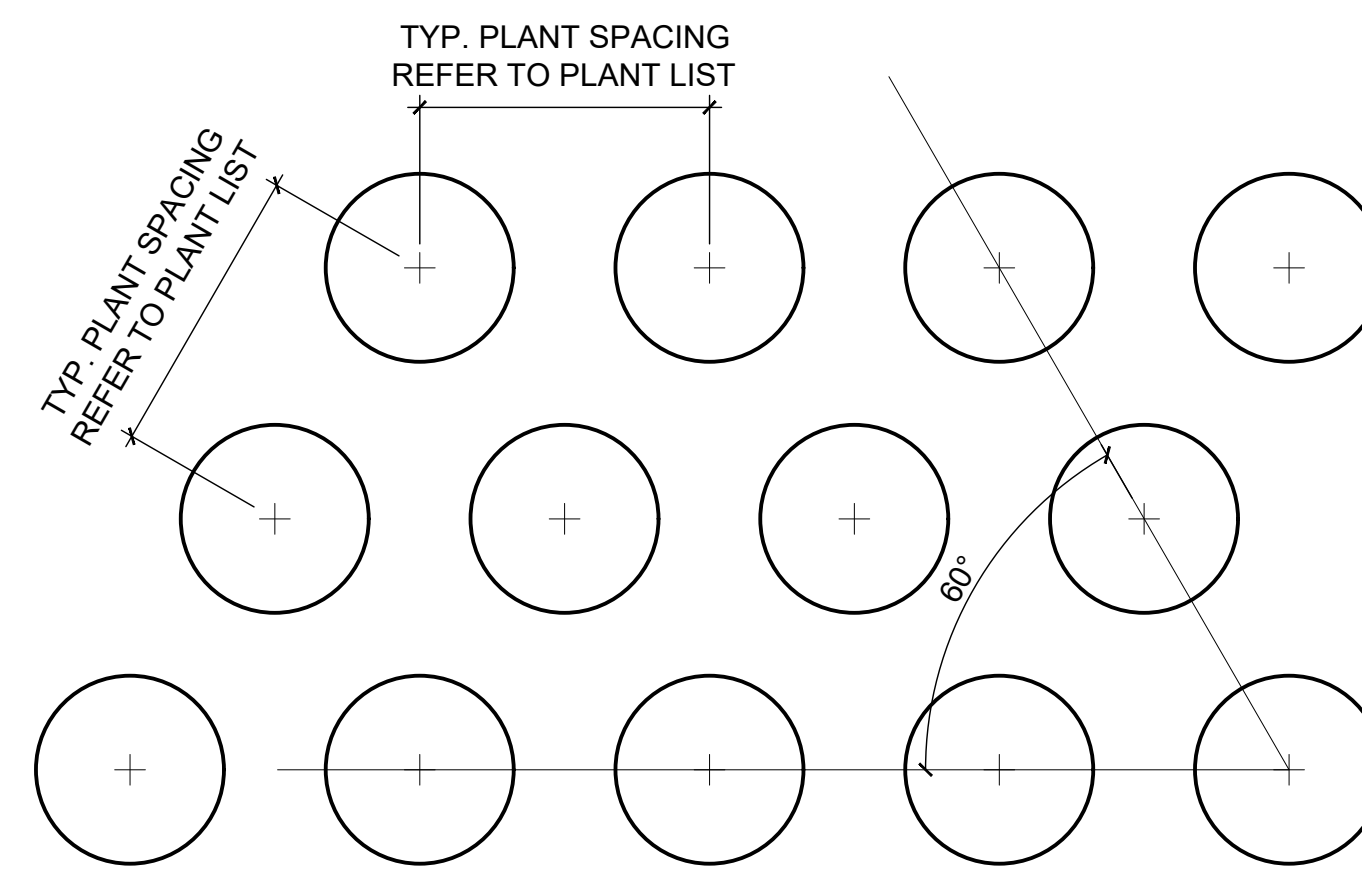
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L1.1



PERENNIAL PLANTING DETAIL

NTS

1
L1.1



MASS PLANTING TYPICAL LAYOUT

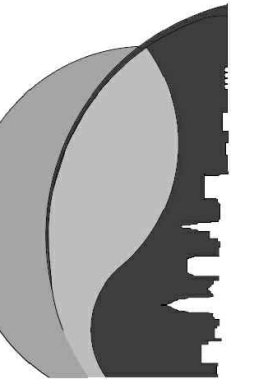
NTS

4
L1.1

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	NOTES/ SPACING	QTY
TREES						
BE NI	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	2 1/2" CAL.	B&B	SINGLE-STEM	1
QU RO	QUERCUS ROBUR 'FASTIGIATA'	UPRIGHT ENGLISH OAK	2 1/2" CAL.	B&B		3
UL FR	ULMUS x 'FRONTIER'	FRONTIER ELM	2 1/2" CAL.	B&B		2
SHRUBS						
BU GG	BUXUS x 'GREEN GEM'	GREEN GEM BOXWOOD	NO. 3	CONT.	30" O.C.	44
HY PA	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30" HT.	B&B		9
IL GL	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	30" HT.	B&B	36" O.C.	13
JU SC	JUNIPERUS SCOPULORUM 'BLUE ARROW'	BLUE ARROW JUNIPER	NO. 3	CONT.		3
PH OP	PHYSOCARPUS OPULUS 'DIABOLO'	DIABOLO NINEBARK	NO. 3	CONT.		3
RO RD	ROSA 'RED DRIFT'	RED DRIFT ROSE	NO. 3	CONT.	36" O.C.	21
TH OC	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	6' HT.	B&B	4' O.C.	5
PERENNIALS AND GRASSES						
CA KF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	NO. 2	CONT.	24" O.C.	69
CA MU	CAREX MUSKINGHUMENSIS 'ICE DANCE'	ICE DANCE SEDGE	NO. 2	CONT.	18" O.C.	85
HE HR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	CONT.	18" O.C.	21
NE FA	NEPETA x FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	NO. 2	CONT.	30" O.C.	44
	SEED FOR LAWN (SEE NOTES FOR MIX)					

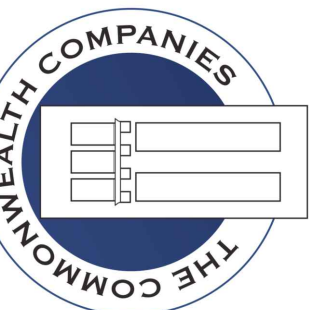
BOULEVARD STUDIOS

582 VALLEY BROOK LANE
MACEDONIA, OHIO 44056
(440) 821 - 7704



COMMONWEALTH COMPANIES

24 SOUTH BROOKE STREET
FOND DU LAC, WISCONSIN 54935
(920) 922-8170 FAX: (920) 922-8171



GARRETT SQUARE SENIOR APTS.

1282 EAST 125th STREET
CLEVELAND, OH 44112



Committee Recommendation: Approved with **conditions:**

- 1- Raise brick coursing
- 2- Develop/celebrate the entry, make entry canopy bigger on Superior and north side
- 3- Venting system color needs to match the color of the siding
- 4- Horizontal banding will be a darker color



November 18, 2022

NE2022-025 – Proposed Demolition of a 2 ½-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 969 East 144th Street

Project Representative: Rebecca Zimmer, C&J Contractors

Committee Recommendation: Approved as presented

**969 E 144th Street
Cleveland, Ohio 44110**



Proposed demolition of a 2 story residential house and garage behind Lake Erie Prep School located at 14405 St Clair. The last time the house was occupied is unknown. The school opened in 2012 and the house was vacant at that time and has been vacant ever since. The house is in disrepair and foundation is unsafe. The school was told to either repair structure or demolish. The school wishes to demolish the structure.



Division of Code Enforcement
601 Lakeside Avenue, Room 510, Cleveland, OH 44114, 216.664.2282

RE: 1, 2, 3-DU Residential Condemnation Violation Notice and Demolition Order

DATE:

7/13/2022

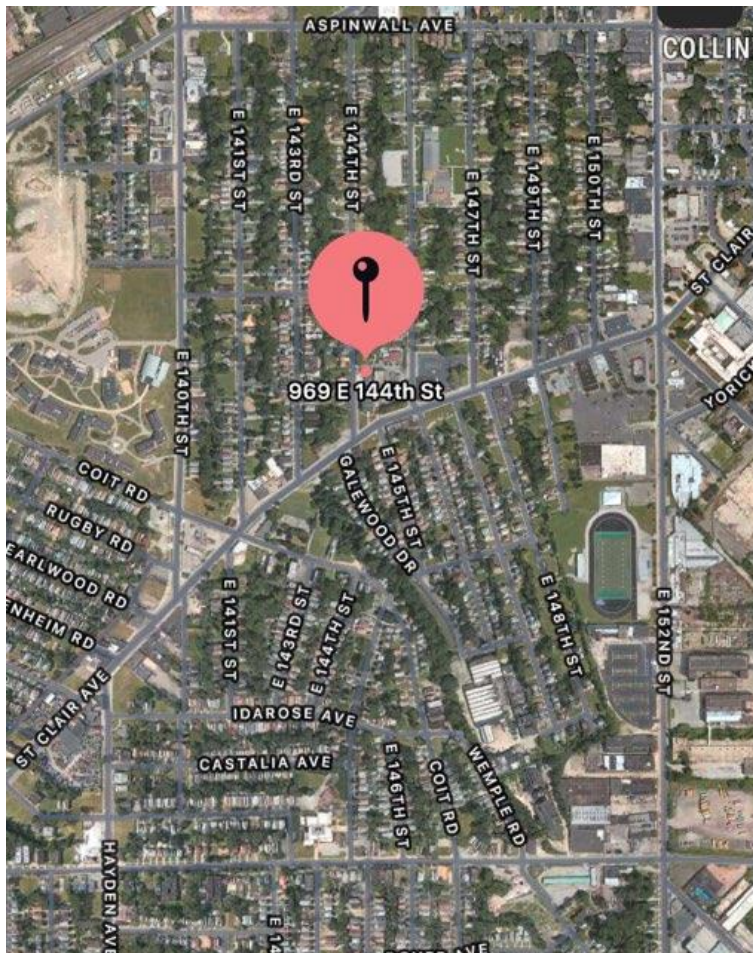
PROPERTY ADDRESS:

969 E. 144 St. (MS + GARAGE)

To Whom It May Concern: CSREH Charter 14405 (AKA: 14405 St. Clair)
c/o Unisearch, INC, SA

The property listed above has been determined to be a public nuisance for the code violations at the

Map View



Ariel View



Exterior of House





Interior Photos





Demolition Plan:

- Disconnect all utilities
- Demolish residential house and garage and take all debris to an approved landfill
- Remove all hard surfaces such as walkways, basement floors, and walls
 - Bulkhead existing storm and sanitary sewers per city specifications
 - Backfill entire basement with clean fill dirt and tamp with excavator.
- Perform a final grade to general work area per city specifications and leave premises in a clean and professional manner



November 18, 2022

DF2022-058 – RMFH Caesars Sportbook Signage: Seeking Final Approval

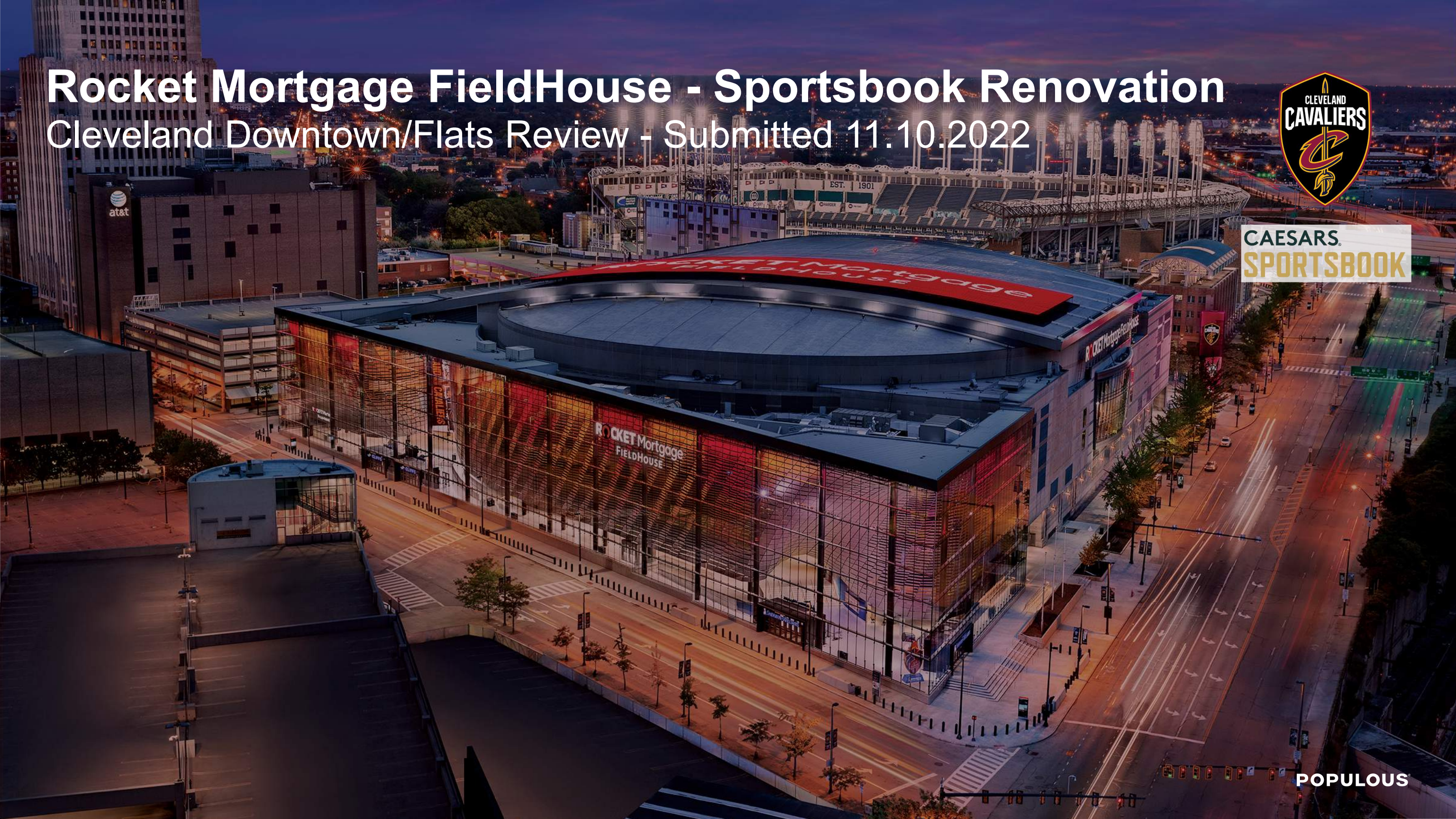
Project Address: 1 Center Court

Project Representative: John Kaminski, Van Auken Akins Architecture

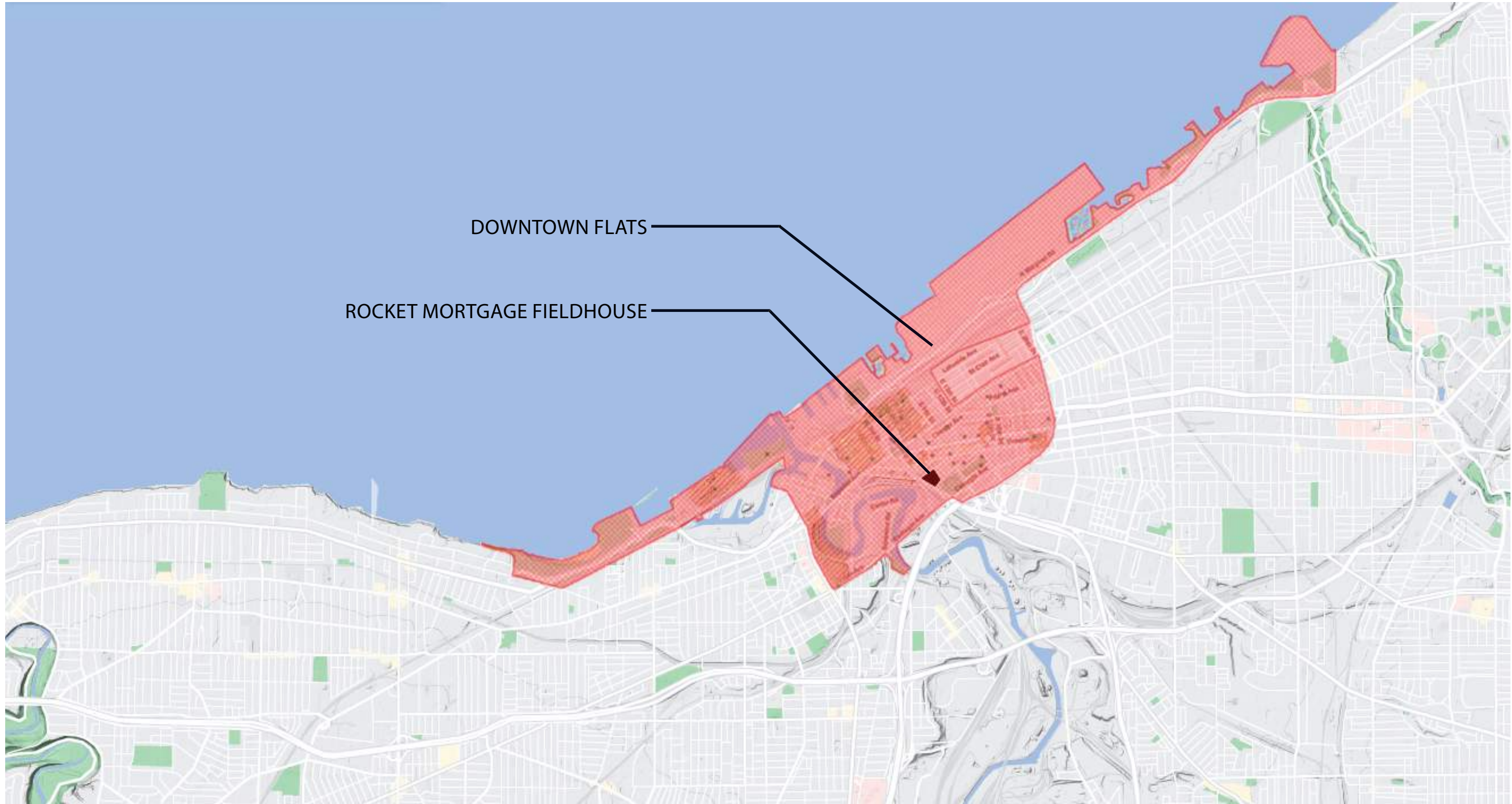
Committee Recommendation: Approved as presented

Rocket Mortgage FieldHouse - Sportsbook Renovation

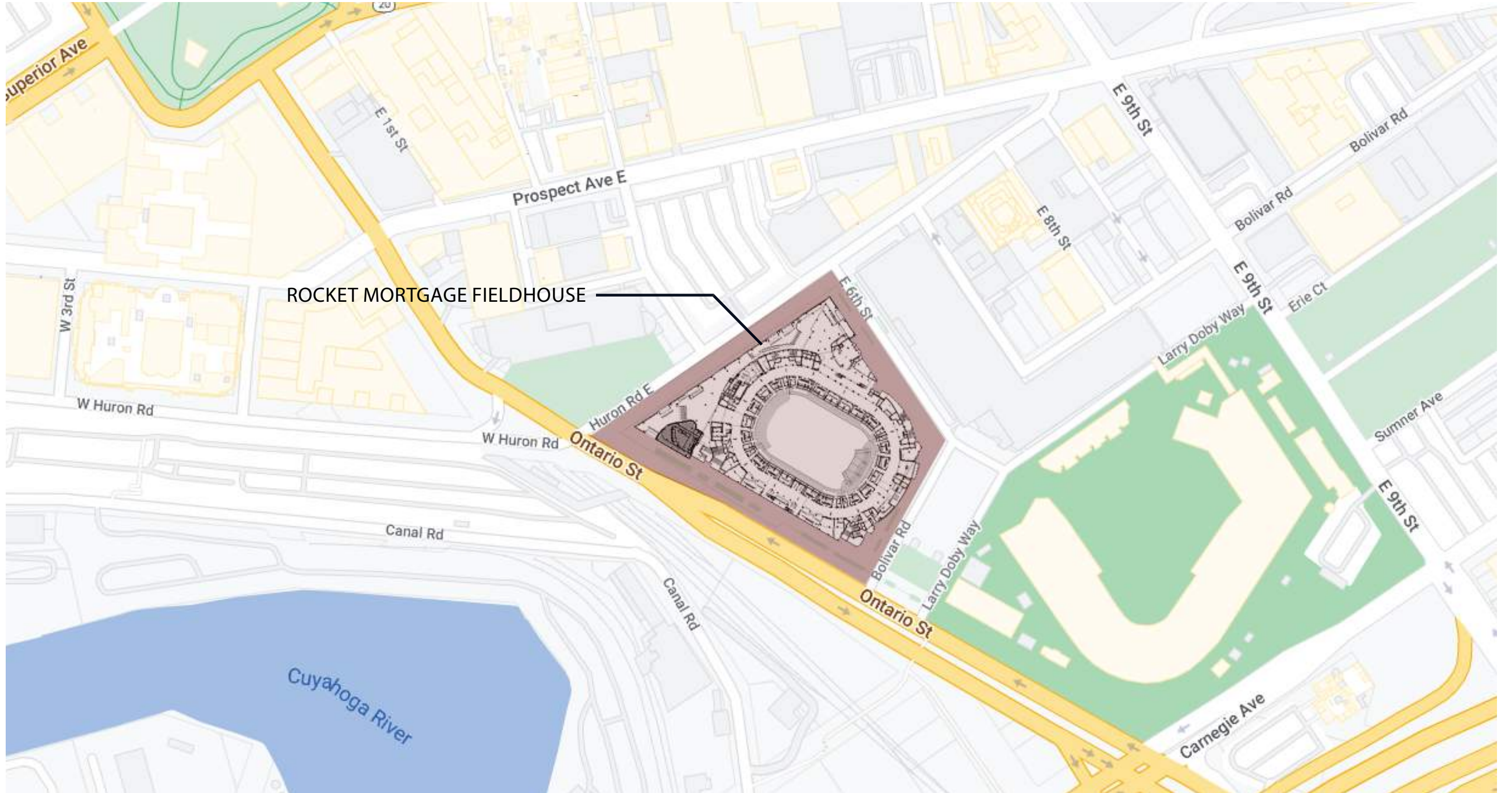
Cleveland Downtown/Flats Review - Submitted 11.10.2022



SITE LOCATION MAP

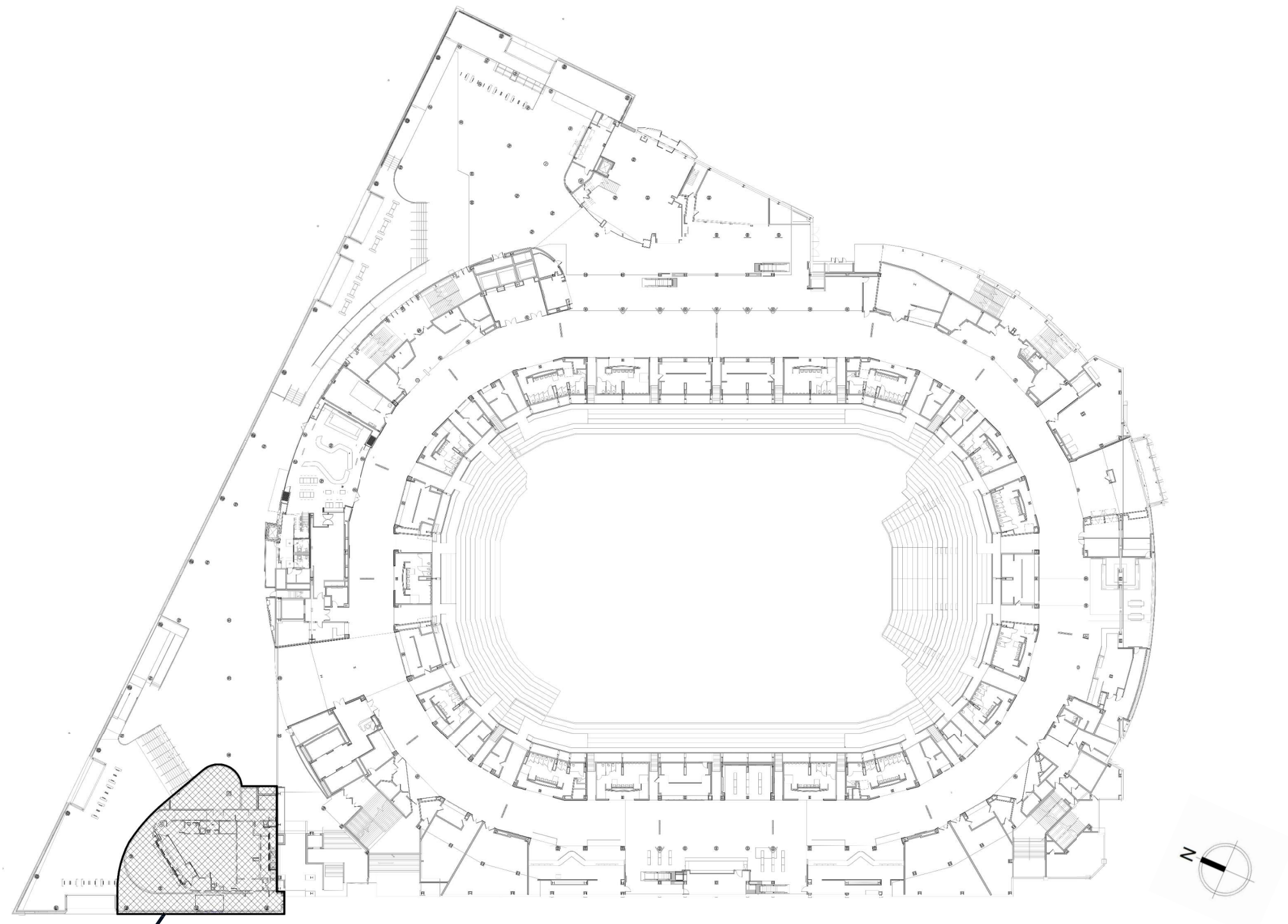


SITE CONTEXT MAP



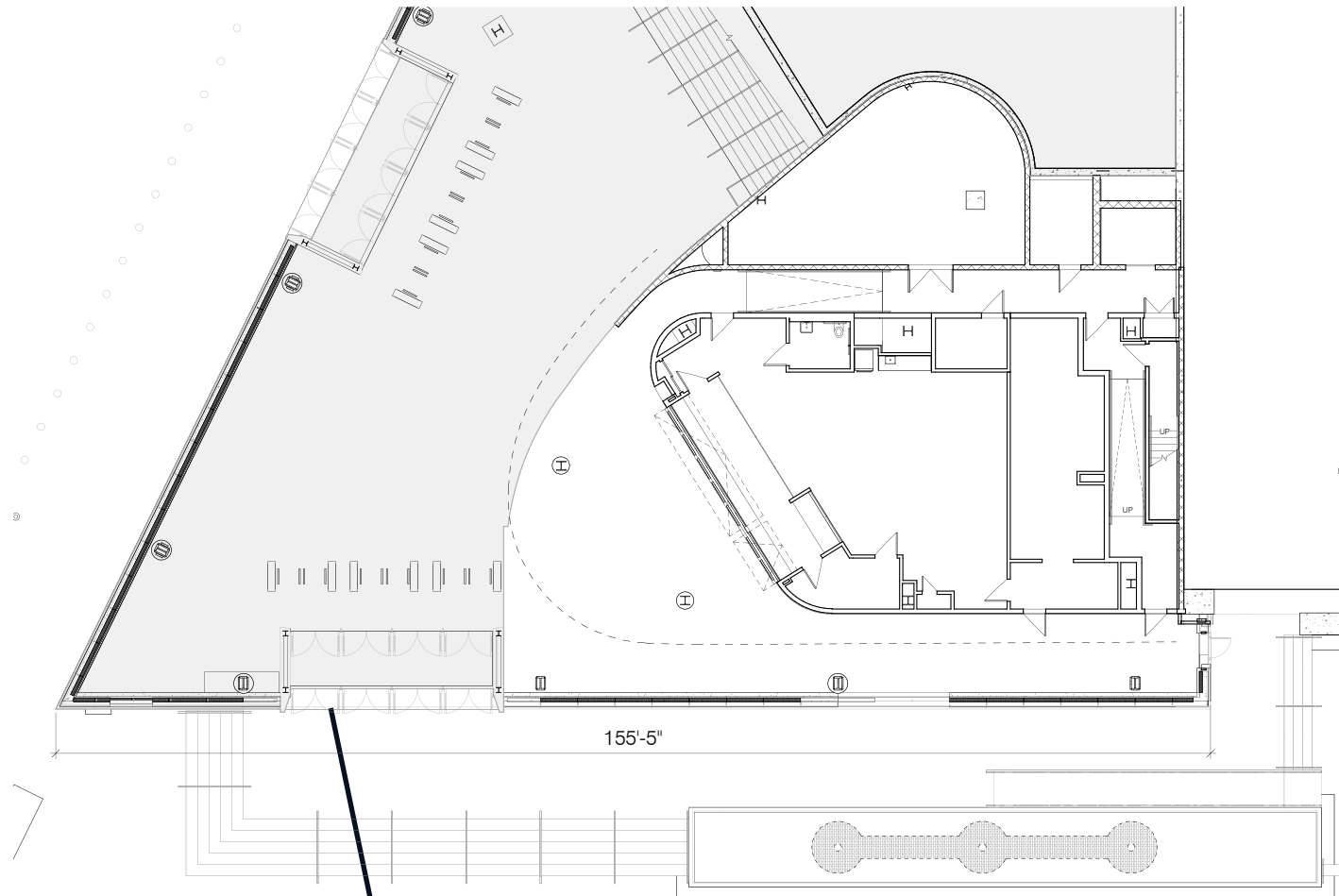
ROCKET MORTGAGE FIELDHOUSE

KEY PLAN - LOWER LEVEL



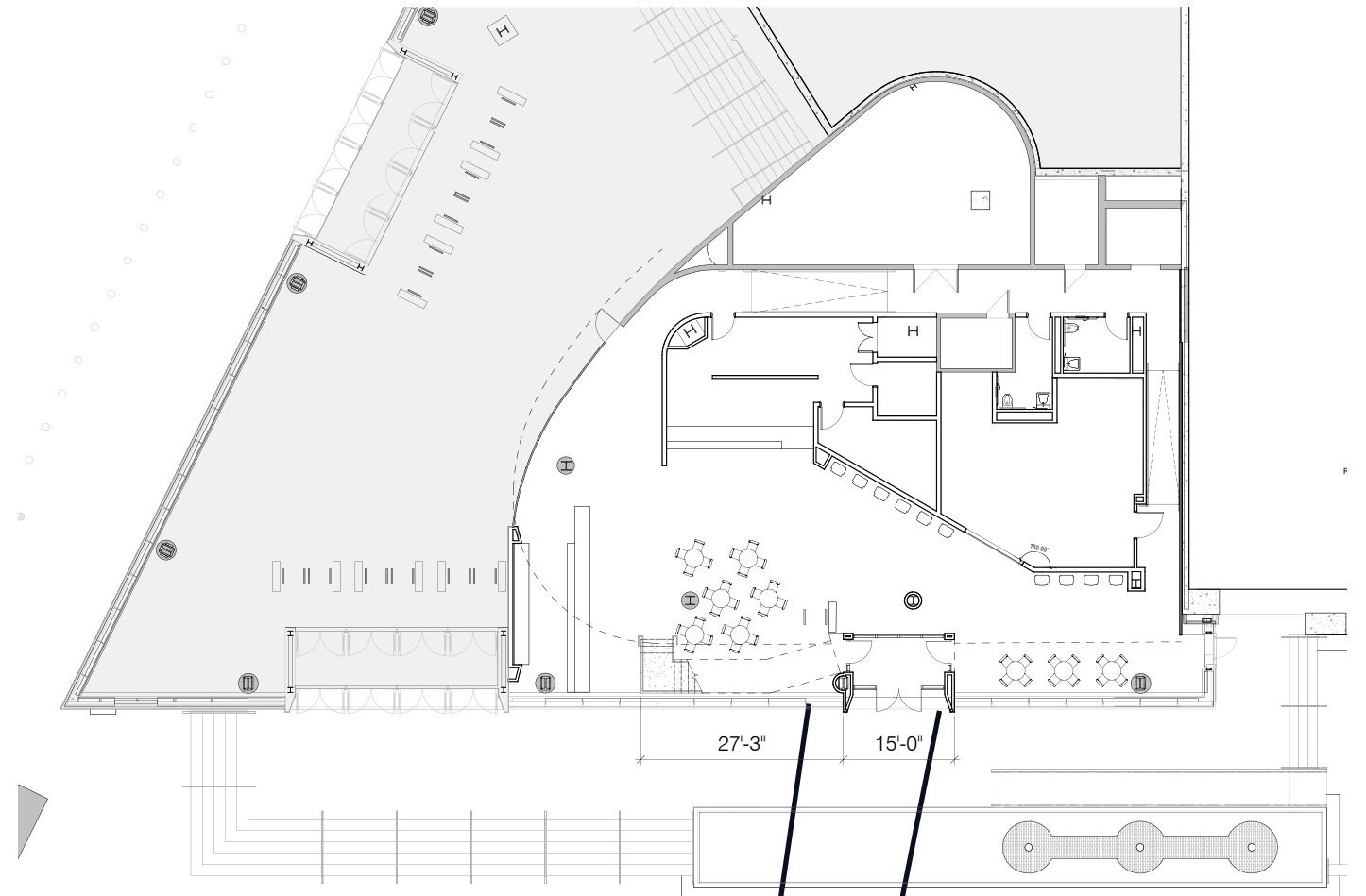
EXTENT OF RENOVATION SCOPE

LOWER LEVEL PLANS - EXISTING AND PROPOSED

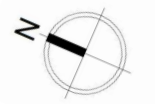


EXISTING

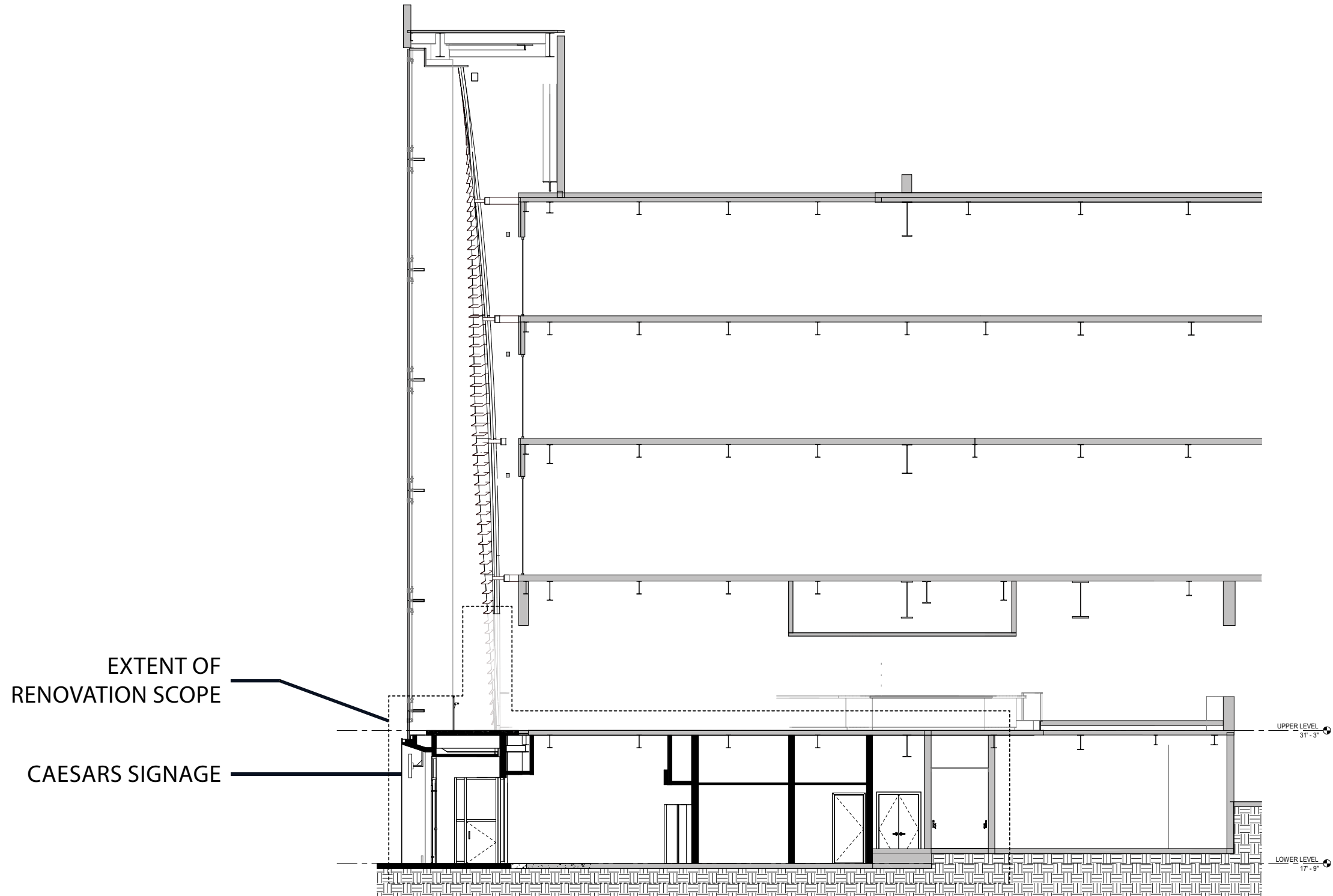
SHERWIN WILLIAMS SIGN



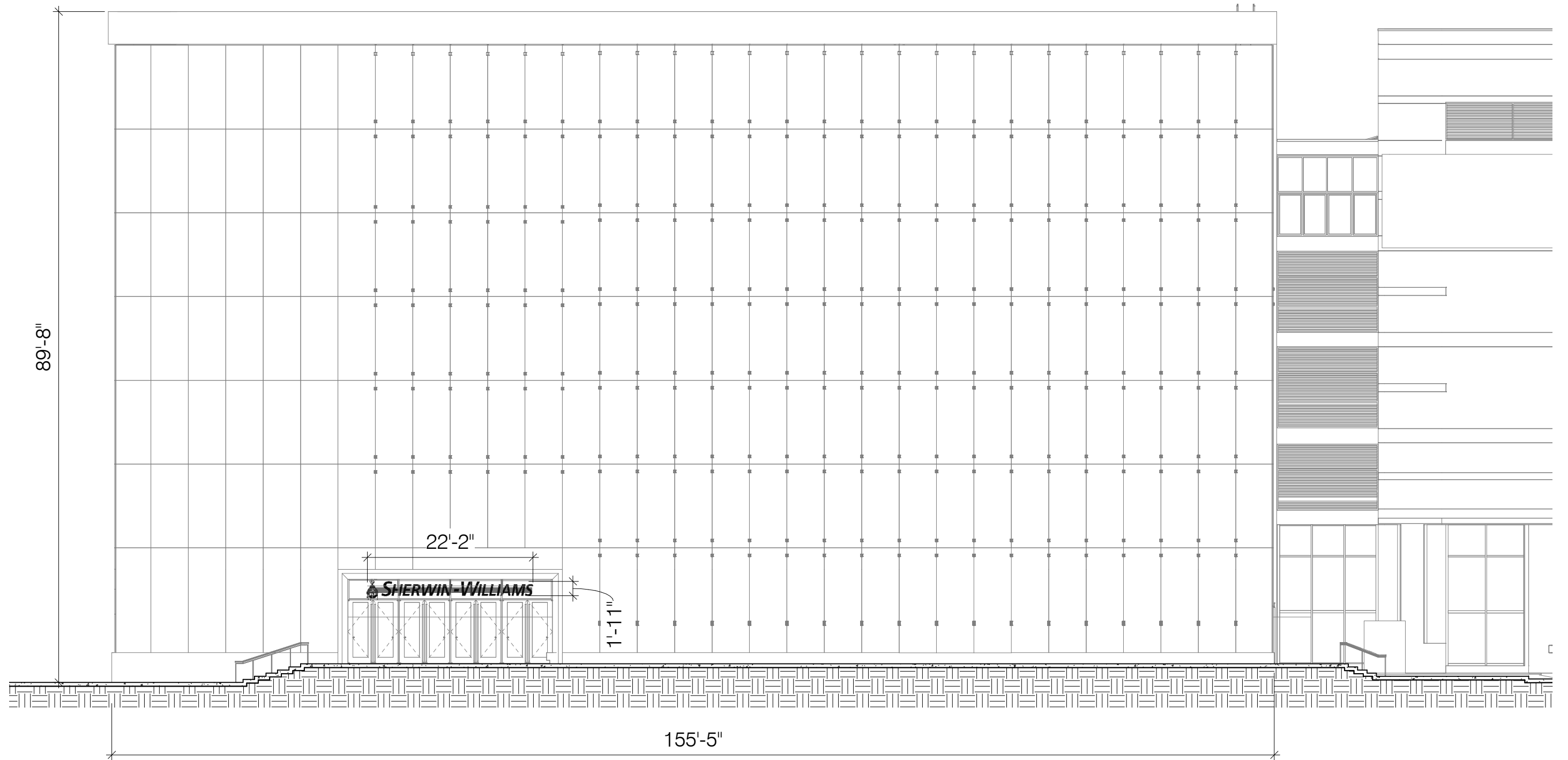
PROPOSED



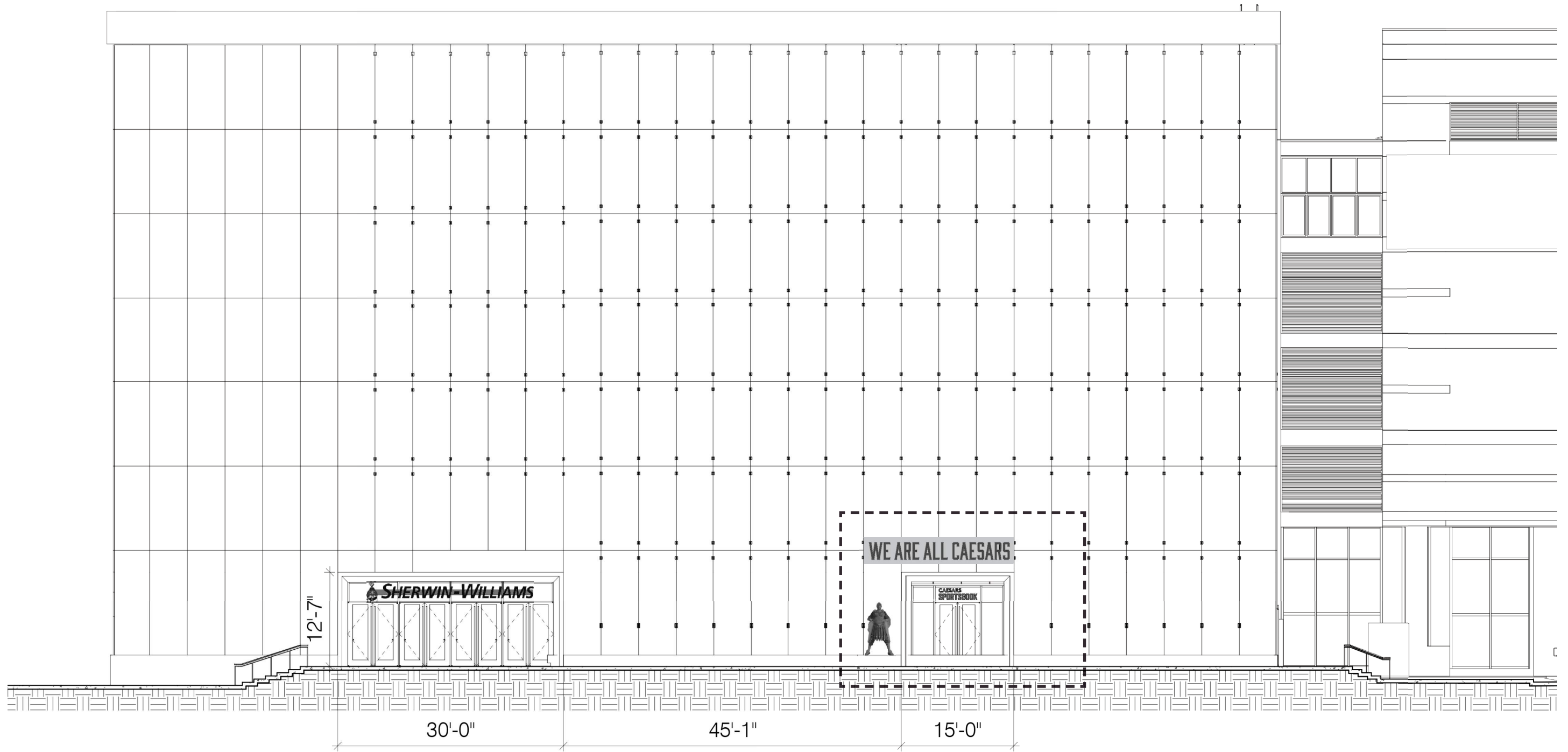
PROPOSED SECTION



ELEVATIONS - EXISTING



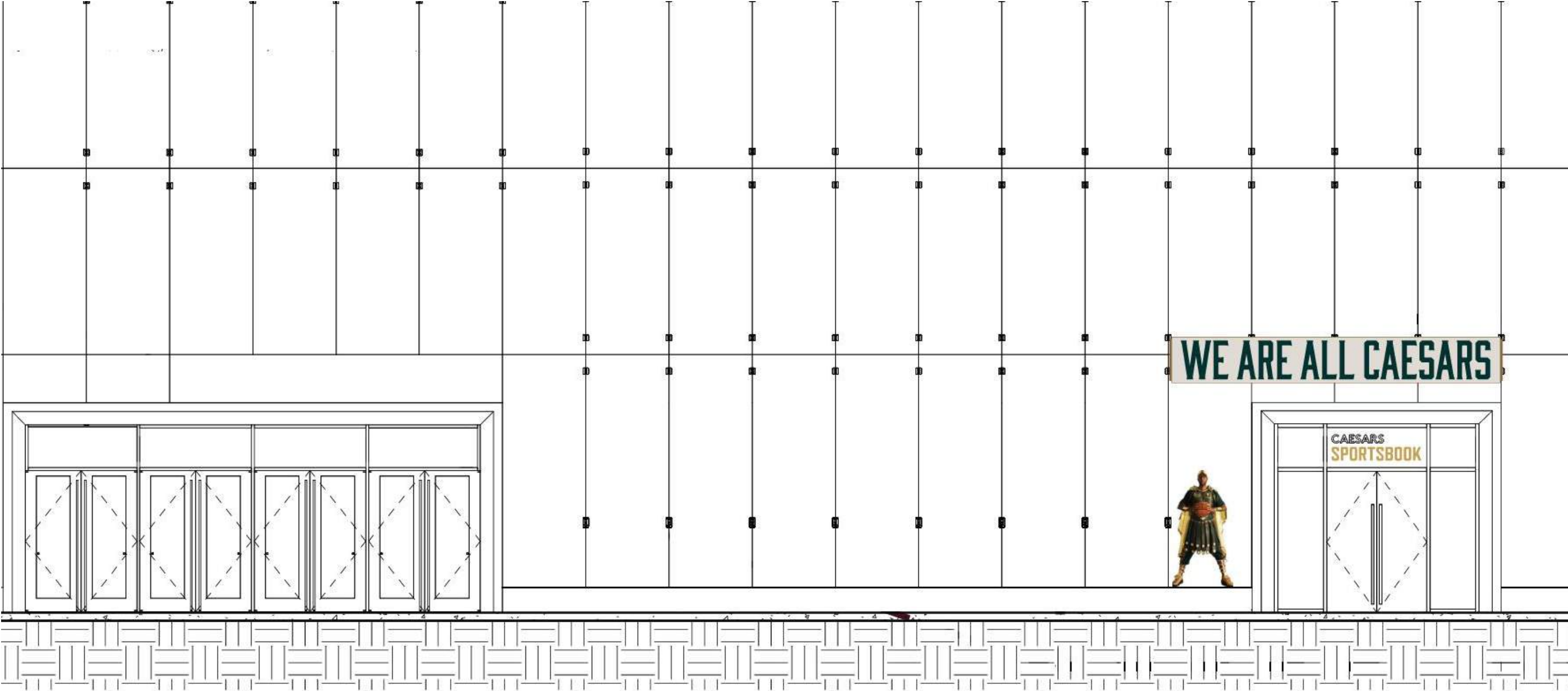
ELEVATIONS - PROPOSED



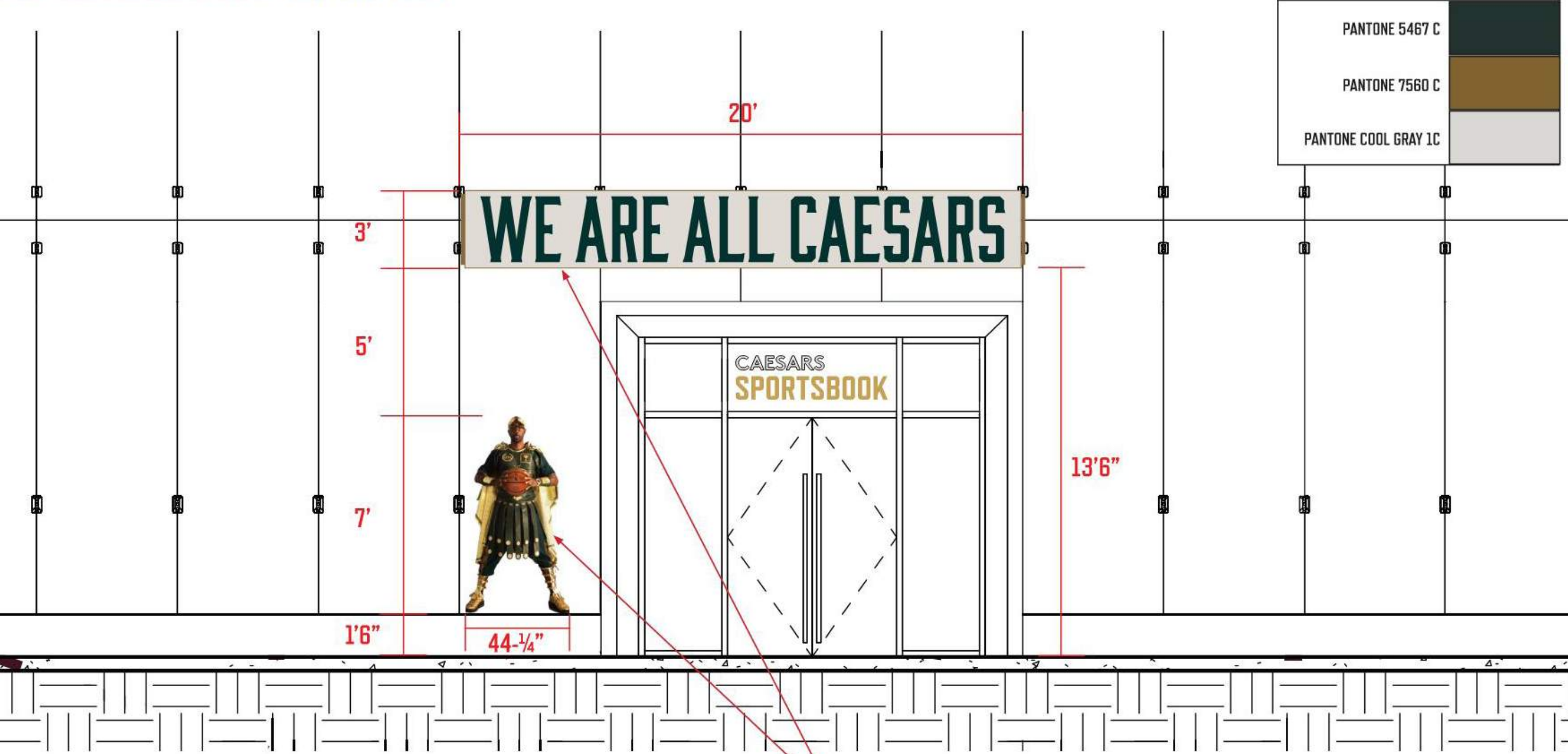
RENDERED ELEVATIONS - PROPOSED



PROPOSED SIGNAGE



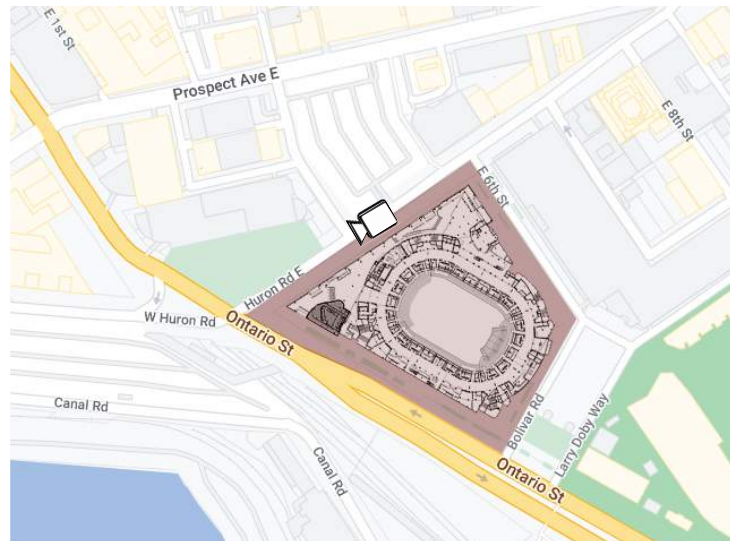
PROPOSED SIGNAGE



ENTRANCE ELEVATION

DOUBLE SIDED PRINT
OPAQUE VINYL WRAP

CONTEXT SIGNAGE



POPULOUS®

Cleveland City Planning Commission

Mandatory Referrals



November 18, 2022



November 18, 2022

Ordinance No. 1142-2022

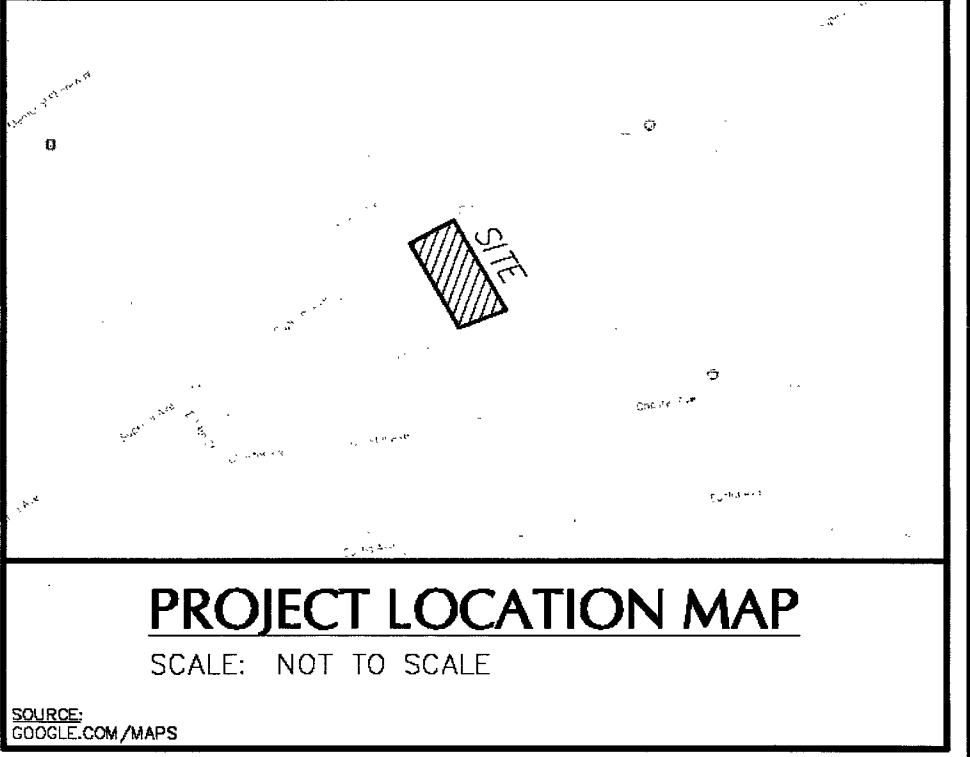
(Introduced by Council Members Howse, Hairston, and Griffin – by departmental request): To terminate any Tax Increment Financing Agreement entered into under Ordinance No. 867-2000, passed June 19, 2000, on Superior Avenue between East 17th Street and East 30th Street with various property owners as they relate to certain parcels only; to amend Sections 1 and 2 of Ordinance No. 556-2021, passed August 18, 2021, relating to a Tax Increment Financing Agreement with CC Superior Holding LLC, or its designee, for property located between Payne and Superior Avenue and East 21st Street and East 22nd Street to reflect the consolidation of certain parcels; and to supplement Ordinance No. 556-2021, by adding new Section 1a.

Presenter: Robin Brown, City of Cleveland

842-A

LOT SPLIT AND CONSOLIDATION PLAT

NOW IN THE CITY OF CLEVELAND
COUNTY OF CUYAHOGA, STATE OF OHIO



PROJECT LOCATION MAP

SCALE: NOT TO SCALE

AREA SUMMARY

PARCEL NO	ACRES	SQ. FT.
102-25-001	0.1958	85,30
102-25-002	0.3494	15,213
102-25-016	1.2071	52,580
102-25-019	0.6159	26,831
102-25-022	0.6191	26,968
102-25-024	0.3912	17,042
102-25-025	0.1881	8,324
102-25-026	0.1377	6,000
102-25-027	0.2755	12,000
102-25-028	0.1377	6,000
102-25-029	0.2757	12,008
102-25-031	0.1926	8,340
102-25-046	0.0326	1,4120
PARCEL "A"	4.7695	207,761

CUYAHOGA COUNTY
OFFICE OF FISCAL OFFICERS - 1
LPLAT 8/23/2022 9:46:43 AM
202208230159

CUYAHOGA COUNTY FISCAL OFFICER
102-25-001 8/23/2022
102-25-002 N-08232022-2
CC SUPERIOR HOLDING, LLC Tax Dist. 3100
Plat LUC 4800 EX
Sale Amt: \$ 0.00 LAND: 90,600
Conv. Fee: \$ 0.00 BLDG: 105,100
LOGAN McQUADE TOTAL: 185,600



Add PPN: 102-25-022
102-25-024
102-25-026
102-25-027
102-25-028
102-25-029
102-25-031
102-25-046

OWNERS ACCEPTANCE

I, THE UNDERSIGNED, OFFICER(S) OF CC SUPERIOR HOLDING, LLC, OWNER OF THE LAND SHOWN HEREON AS AUDITORS PERMANENT PARCEL NUMBERS 102-25-001, 102-25-002, 102-25-003, 102-25-004, 102-25-016, 102-25-019, 102-25-022, 102-25-024 THROUGH 102-25-031 & 102-25-046 DO HEREBY ACCEPT THIS LOT SPLIT AND CONSOLIDATION PLAT, AND ACKNOWLEDGE THAT THE SAME WAS MADE AT OUR REQUEST.

OWNERS NAME (SIGNATURE)
[Signature]

OWNERS NAME (PRINT)
Jon J. Pinney

Co-Manager of CC Superior Managing Member LLC, an Ohio limited liability company, the Manager of CC Superior Acquisition LLC, an Ohio limited liability company, the Sole Member of CC Superior Holding LLC, an Ohio limited liability company

NOTARY

STATE OF OHIO
COUNTY OF CUYAHOGA
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED OWNER(S) WHO ACKNOWLEDGED, THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES EXPRESSED THEREIN.

IN WITNESS WHEREOF, Jon J. Pinney, HAD HERE UNTO SET HIS HAND AND OFFICIAL SEAL
THIS 3RD DAY OF August, 2022

MY COMMISSION EXPIRES 10-11-2026

Carol L. Builder
NOTARY PUBLIC - STATE OF OHIO

APPROVALS

THIS LOT SPLIT AND CONSOLIDATION PLAT IS ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO
THIS 5TH DAY OF August, 2022.

[Signature]
PLANNING DIRECTOR - JOYCE PAN HUANG

THIS LOT SPLIT AND CONSOLIDATION PLAT IS ACCEPTED AND APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO
THIS 5TH DAY OF August, 2022.

[Signature]
PLATTING COMMISSIONER - RICHARD SWITALSKI

OWNERSHIP INFORMATION

PPN	CC SUPERIOR HOLDING LLC	AFN	DATE
102-25-003	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-004	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-016	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-019	CC SUPERIOR HOLDING LLC	20104190928	12/28/2018
102-25-022	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-024	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-025	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-026	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-027	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-028	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-029	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-031	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021
102-25-046	CC SUPERIOR HOLDING LLC	20104190928	04/19/2021

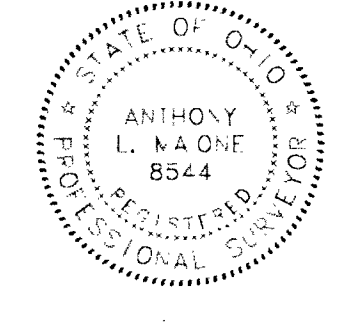
ENCROACHMENTS

- (1) BUILDING ENCRACHES INTO ROW AS SHOWN
- (2) BUILDING ENCRACHES INTO ROW AS SHOWN
- (3) BUILDING ENCRACHES INTO ROW AS SHOWN

CERTIFICATE OF SURVEYOR

I HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT AND SURVEY, AND THAT THE SAME IS CORRECT AND ACCURATE. THIS PLAT WAS PREPARED FROM A FIELD SURVEY, ANALYSIS OF RECORDED PLATS, RECORDED DEEDS AND SURVEY RECORDS, (AS APPLICABLE). BEARINGS ARE SHOWN TO DENOTE ANGLES ONLY. DISTANCES ARE GIVEN IN FEET AND DECIMAL PART THEREOF. ALL OF WHICH I CERTIFY TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

[Signature]
ANTHONY L. MAIONE, P.S.
PROFESSIONAL LAND SURVEYOR
OH LIC. No. 8544



714.07' OBS. & USED

LINE TABLE

L1	N 30°28'17" W	20.81' CALC.
L2	N 59°30'46" E	142.46' CALC.
L3	N 28°19'44" W	15.43' CALC.
L4	S 61°40'16" W	143.44' CALC.
L5	N 61°40'16" E	143.14' CALC.

NOTES

- THIS PLAN WAS PREPARED WITH RESPECT TO THE FOLLOWING REFERENCES:
 - O.H. PAYNE'S ALLOTMENT AS RECORDED IN VOLUME 15, PAGE 7 OF THE CUYAHOGA COUNTY MAP RECORDS
 - O.H. PAYNE'S ALLOTMENT AS RECORDED IN VOLUME 14, PAGE 8 OF THE CUYAHOGA COUNTY MAP RECORDS
 - NORTH COAST ENGINEERING & SURVEYING PLAT OF CONSOLIDATION AS RECORDED IN VOLUME 3031, PAGE 65 OF THE CUYAHOGA COUNTY MAP RECORDS
 - CUYAHOGA ENGINEERING & SURVEYING SERVICES CONSOLIDATION PLAT AS RECORDED IN VOLUME 284, PAGE 40 OF THE CUYAHOGA COUNTY MAP RECORDS
 - CUYAHOGA ENGINEERING & SURVEYING SERVICES CONSOLIDATION PLAT AS RECORDED IN VOLUME 306, PAGE 09 OF THE CUYAHOGA COUNTY MAP RECORDS
 - CUYAHOGA ENGINEERING & SURVEYING SERVICES CONSOLIDATION PLAT AS RECORDED IN VOLUME 288, PAGE 45 OF THE CUYAHOGA COUNTY MAP RECORDS
 - CITY OF CLEVELAND SURVEY RECORDS BOOK 66 PAGE 112
 - CITY OF CLEVELAND SURVEY RECORDS BOOK 92 PAGE 77
 - CITY OF CLEVELAND SURVEY RECORDS BOOK 66 PAGE 135
 - CITY OF CLEVELAND SURVEY RECORDS BOOK 92 PAGE 53
- BOUNDARY AND PLANIMETRIC INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES DURING SEPTEMBER, 2016.
- THIS PLAN IS NOT VALID UNLESS STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).

LEGEND

- SET 5/8" BY 30" STEEL PIN WITH CAP "LANGAN"
- ⊗ SET MAG NAIL
- ⊙ FOUND MONUMENTATION AS NOTED
- ⊕ CENTERLINE
- ⊖ RIGHT OF WAY
- PN PARCEL NUMBER
- REC. RECORD
- AC. ACRES
- VOL. VOLUME
- PG. PAGE
- CALC. CALCULATED
- OBS. OBSERVED
- SQ. FT. SQUARE FEET
- DOC. RECORDER'S FILE NO.

DATUM

VERTICAL DATUM IS NAD 83 OBTAINED FROM GPS OBSERVATIONS IN SEPTEMBER, 2016.

BASIS OF BEARINGS

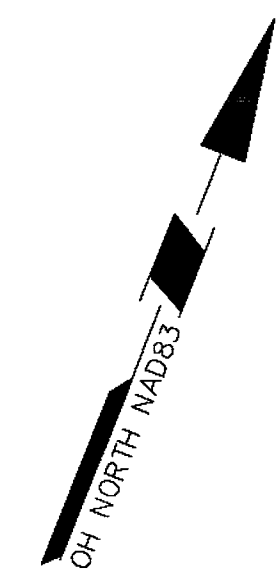
MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83 PER GPS OBSERVATIONS IN SEPTEMBER, 2016.

LANGAN
Langan Engineering and Environmental Services, Inc.
6000 Lombardo Center, Suite 210
Cleveland, OH 44131
T: 216.328.3300 F: 216.328.3301 www.langan.com

Project
2160 SUPERIOR AVE.
PART OF ORIGINAL LOT NOS. 106, 107, & 108
CITY OF CLEVELAND
CUYAHOGA COUNTY OHIO
Drawing Title
LOT SPLIT AND CONSOLIDATION PLAT
Project No. 400057401
Drawing No. VB101
Date 06/15/2022
Plat Vol. Pg.
Drawn By IDC
Checked By ALM
Sheet 1 of 1

24" x 36"
This Survey Plat complies with the Cuyahoga County Transfer and Conveyance Standards and is hereby approved.
T.M. Pg.
[Signature]
Agent 8/23/22

A-5442



SCALE: 1 INCH = 40 FEET

PROJECT NO. 400057401

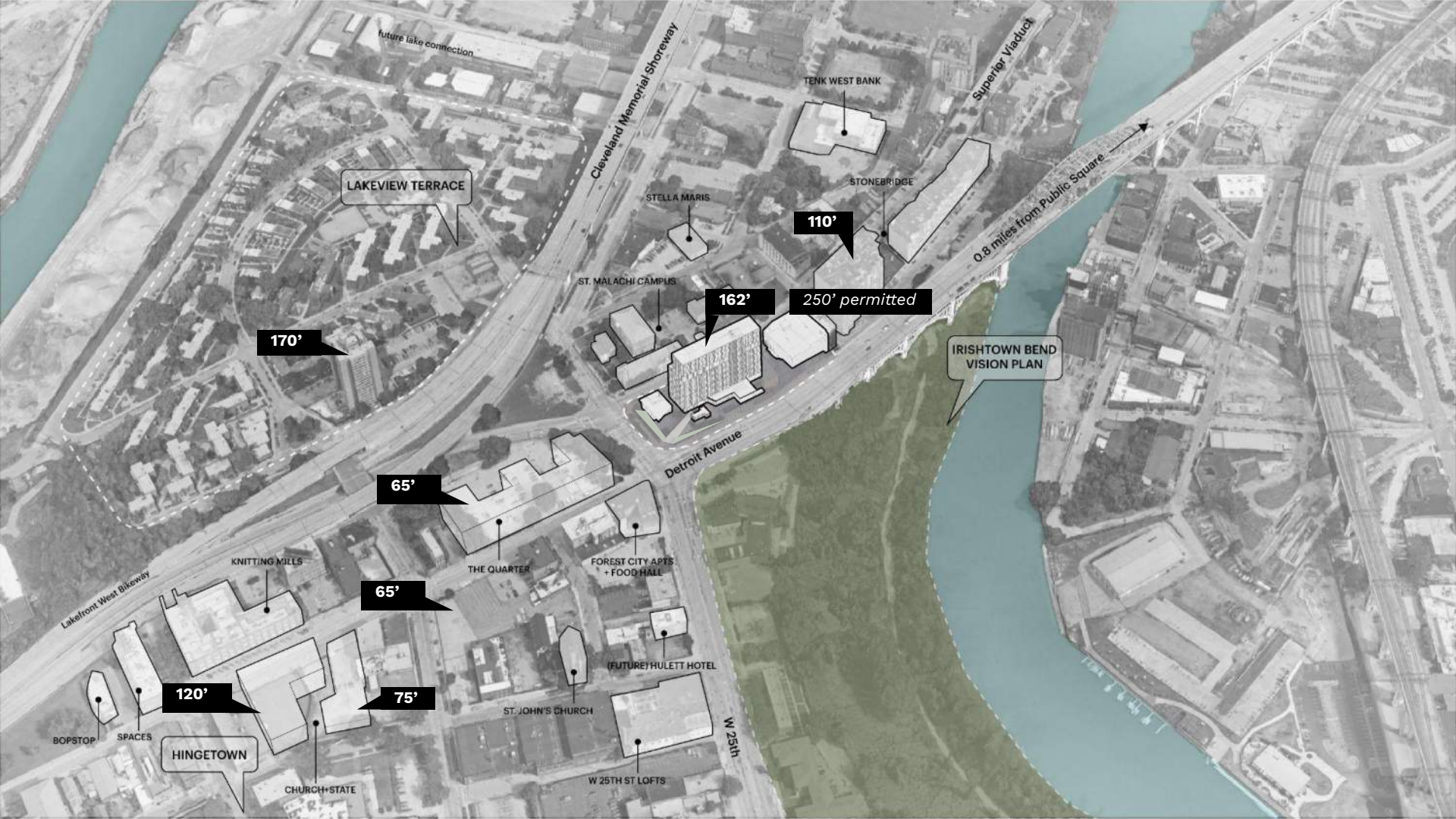


November 18, 2022

Ordinance No. 1207-2022

(Introduced by Council Members McCormack, Hairston, and Griffin – by departmental request):
Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by Bridgeworks, LLC, and/or its designee, located at 2429 West Superior Avenue for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the Bridgeworks Development Project.

Presenters: Robin Brown, City of Cleveland
Graham Veysey, Developer



LAKEVIEW TERRACE

170'

STELLA MARIS

162'

110'

250' permitted

IRISHTOWN BEND
VISION PLAN

Detroit Avenue

65'

THE QUARTER

65'

KNITTING MILLS

120'

BOPSTOP

SPACES

HINGETOWN

75'

CHURCH+STATE

ST. JOHN'S CHURCH

(FUTURE) HULETT HOTEL

FOREST CITY APTS
+ FOOD HALL

W 25TH ST LOFTS

W 25th

future lake connection

Cleveland Memorial Shoreway

TENK WEST BANK

Superior Viaduct

0.8 miles from Public Square

Lakefront West Bikeway

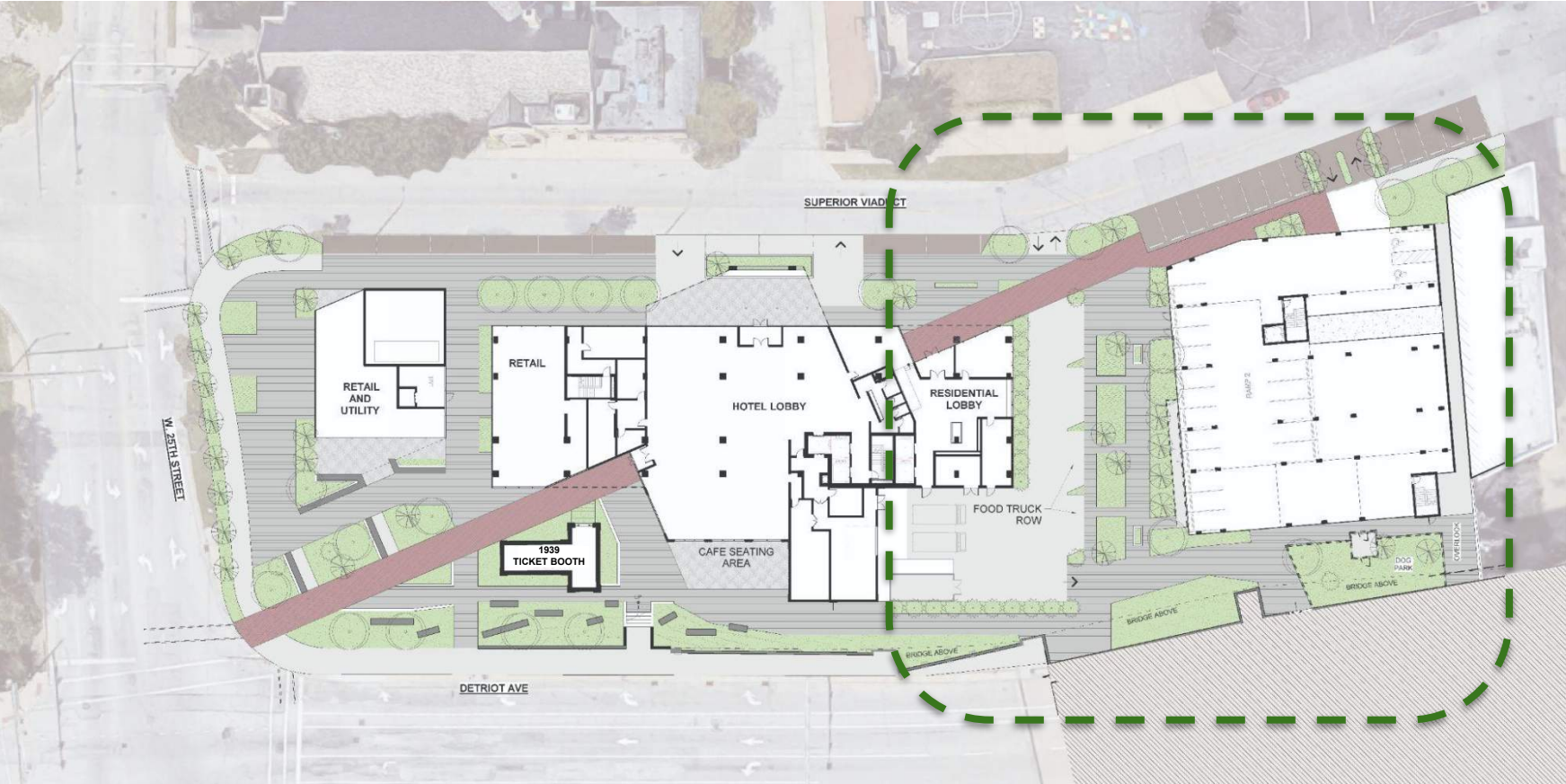




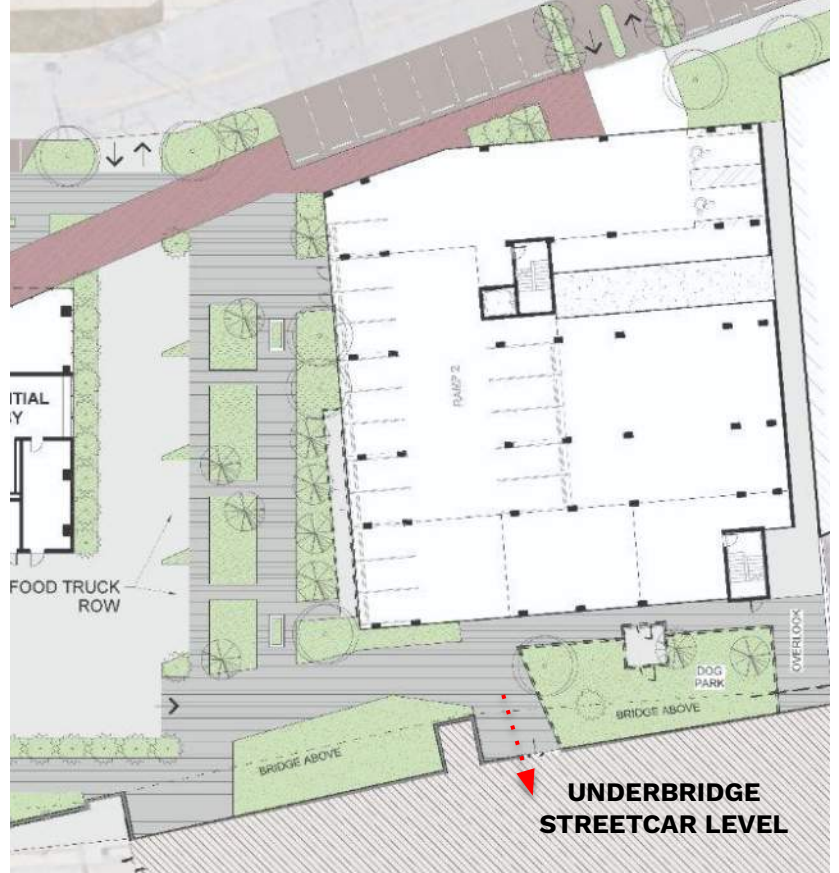
PEDESTRIAN CIRCULATION



SITE PLAN



SITE PLAN







£5.95
and or
(Tea or coffee)
£1.25
£2.25
£2.95
£3.75
£3.50

1941

MASS. **DM**
DEVELOPMENT

Bridgeworks | M.Panzica Development + GRAMMAR



MASS.



Bridgeworks | M.Panzica Development + GRAMMAR



Cleveland City Planning Commission

Administrative Approvals



November 18, 2022



November 18, 2022

Ordinance No. 1150-2022

(Introduced by Councilmembers Jones, Bishop, Hairston and Griffin – by departmental request):
Giving consent of the City of Cleveland to the County of Cuyahoga for the reconstruction of Lee Road from McCracken Road to Miles Avenue; to apply for and accept an allocation of County Motor Vehicle License Tax Funds for the improvement; and authorizing the Director of Capital Projects to enter into any relative agreements for the improvement.



Ordinance No. 1152-2022

(Introduced by Council Members Howse, Bishop, and Hairston – by departmental request):
Authorizing the Director of Capital Projects to issue a permit to The Manufacturing Advocacy & Growth Network (“MAGNET”) to encroach into the public right-of-way of Chester Avenue by installing, using and maintaining an exterior sign.



Ordinance No. 1156-2022

(Introduced by Council Members Kazy and Griffin – by departmental request): Determining the method of making the public improvement of replacing roofs and related appurtenances at Garret Morgan, Jr. and Crown Water Treatment Plants; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.



Ordinance No. 1193-2022 (Introduced by Council Member Griffin):
Changing the Use, Height and Area Districts of parcels of land north of Cedar Avenue between East 107th Street and Stokes Boulevard; and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan (Map Change 2656).



Ordinance No. 1202-2022

(Introduced by Council Members Hairston and Griffin – by departmental request):

Authorizing the Director of City Planning to enter into a multi-party agreement relating to the City's participation in the Cleveland Metropolitan Park District's grant known as the Cleveland Harbor Eastern Embankment Resilience Study; and to cause payment for the City's share.



Ordinance No. 1208-2022

(Introduced by Council Members Hairston and Griffin – by departmental request):

Authorizing the Director of City Planning to enter into an amendment to Contract No. PS 2019-138, as amended, with Code Studio, Inc. to extend the term of the contract through June 31, 2023, to provide additional engagement activities for the Form-Based Zoning pilot initiative and for review of draft code elements.



Ordinance No. 1213-2022

(Introduced by Council Members McCormack, Hairston and Griffin – by departmental request):
Authorizing the Director of Economic Development to enter into a Tax Increment Financing Agreement with Bridgeworks, LLC, and/or its designee, to assist with the financing of the Bridgeworks Development Project to be located at 2429 West Superior Avenue; to provide for payments to the Cleveland Metropolitan School District; and to declare certain improvements to real property to be a public purpose.

Cleveland City Planning Commission

Director's Report



November 18, 2022

Cleveland City Planning Commission

Adjournment



November 18, 2022