



CHICAGO PLAN COMMISSION

Department of Planning and Development

2222 South Michigan Avenue - Proposed Planned Development

3rd Ward / Ald. Dowell / Near South Side

2222 S Michigan Avenue

Hudson Michigan Avenue Owner LLC

November 18, 2022



Community Area Snap Shot

General Population Characteristics, 2020

	Near South Side	City of Chicago	CMAP Region
Total Population	28,795	2,746,388	8,577,735
Total Households	15,774	1,142,725	3,266,741
Average Household Size	1.8	2.4	2.6
Percent Population Change, 2010-20	34.6	1.9	1.7
Percent Population Change, 2000-20	202.8	-5.2	5.3

Source: 2000, 2010 and 2020 Census.

Race and Ethnicity, 2016-2020

	Near South Side		City of Chicago		CMAP Region	
	Count	Percent	Count	Percent	Count	Percent
White (Non-Hispanic)	13,556	51.4	900,055	33.3	4,276,699	50.6
Hispanic or Latino (of Any Race)	1,104	4.2	772,791	28.6	1,952,731	23.1
Black (Non-Hispanic)	5,932	22.5	776,470	28.8	1,391,837	16.5
Asian (Non-Hispanic)	5,030	19.1	182,251	6.8	620,988	7.3
Other/Multiple Races (Non-Hispanic)	754	2.9	67,780	2.5	209,283	2.5

Source: 2016-2020 American Community Survey five-year estimates.

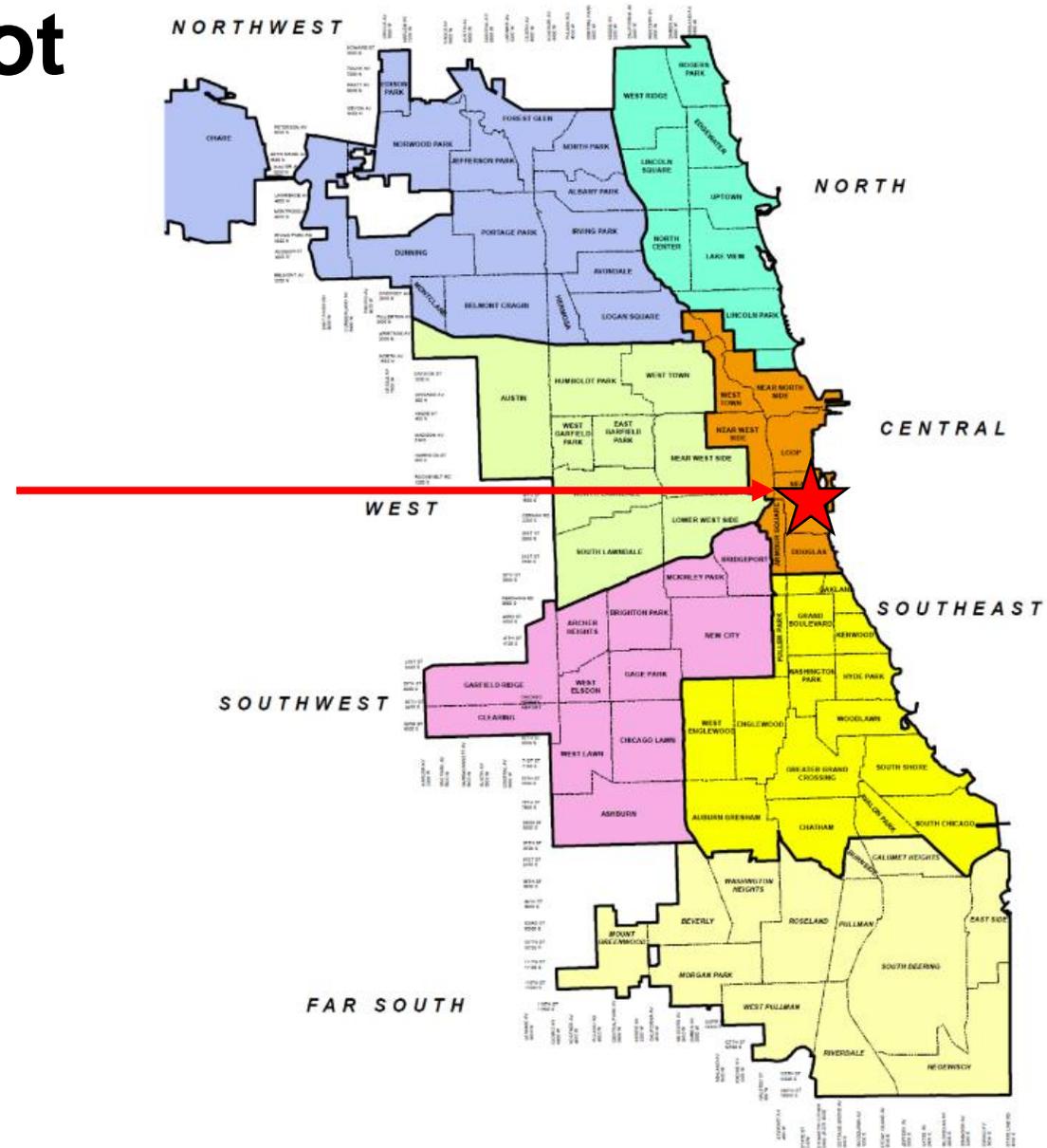
Universe: Total population

Household Size, 2016-2020

	Near South Side		City of Chicago		CMAP Region	
	Count	Percent	Count	Percent	Count	Percent
1-Person Household	8,070	51.8	405,957	37.5	921,119	29.2
2-Person Household	5,681	36.5	322,635	29.8	975,488	30.9
3-Person Household	1,308	8.4	147,278	13.6	490,784	15.6
4-or-More-Person Household	511	3.3	205,273	19.0	765,988	24.3

Source: 2016-2020 American Community Survey five-year estimates.

Universe: Occupied housing units





CTA RED LINE

CTA GREEN LINE

21ST STREET

CERMAK ROAD

THE SITE

STATE STREET

WABASH AVENUE

MICHIGAN AVENUE

INDIANA AVENUE

23RD STREET

24TH STREET

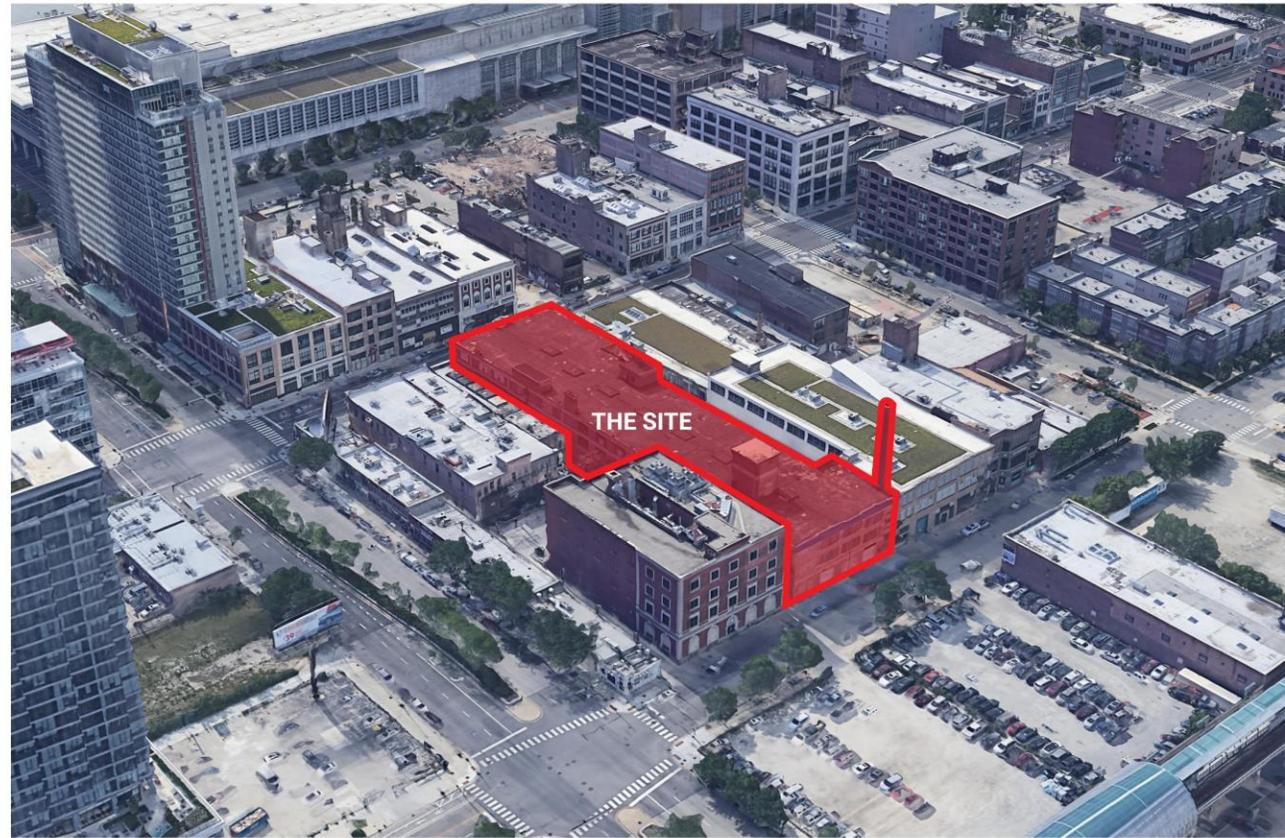
WINTRUST
ARENA

METRA McCORMICK PLACE

55



AERIAL VIEW LOOKING NOTRHWEST



AERIAL VIEW LOOKING SOUTHEAST

AERIAL VIEWS OF CONTEXT



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 7

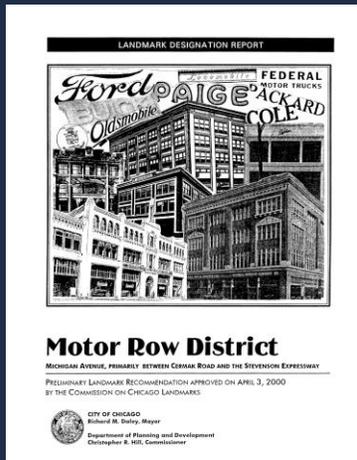
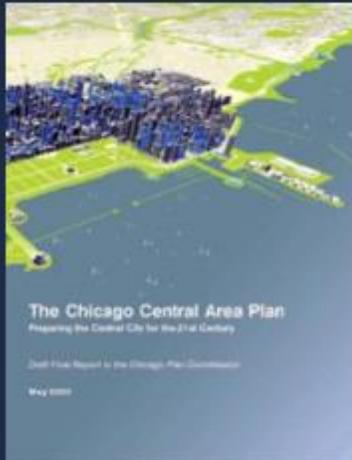


VIEW 8

Project Timeline + Community Outreach

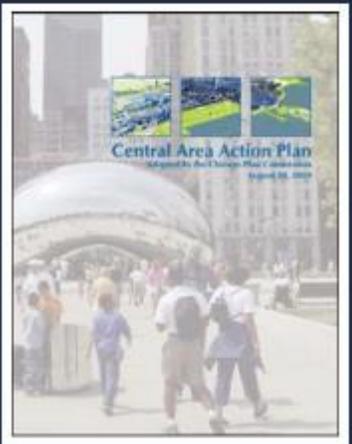
- Ongoing outreach and coordination with Near South Planning Board
- Three restaurants for public use
- Venue space available to the public
- Commitment to limit residential access to Wabash

★ Planning Context



The Chicago Central Area Plan

- Adopted in May 2003 by the Chicago Plan Commission
- Direct growth to create a dynamic central area made up of vibrant and diverse mixed-use urban districts
- Develop high-density, mixed-use corridors which extend from the expanded Loop and are linked to transit
- Support a diverse collection of livable neighborhoods and special places



Central Area Action Plan

- Adopted in August 2009 by the Chicago Plan Commission
- Maintain Chicago's position as the economic engine of the region
- Support dense residential growth to enhance urban vibrancy and utilize urban infrastructure



CONCEPTUAL RENDERING – MICHIGAN AVENUE 8



CONCEPTUAL RENDERING – WABASH AVENUE



CONCEPTUAL RENDERING – AMENITY DECK



CONCEPTUAL RENDERING – WABASH AVENUE AMENITY DECK



PROPOSED ZONING:

REZONE DS-3 & DS-5 TO DX-5; THEN PLANNED DEVELOPMENT

Unit Mix	#Units	Affordable
1 Bedroom	4	1
2 Bedroom	7	2
4 Bedroom	27	5
	38	8

SITE AREA:	38,946 SF
GROSS BUILDING AREA:	136,348 SF
FLOOR AREA RATIO (FAR):	5.0
FAR BUILDING AREA:	194,730 SF
# STORIES	4 STORIES
NET DWELLING AREA:	55,500 SF
% EFFICIENCY UNITS (ZONING):	61%
# OF UNITS:	38 UNITS (135 BEDS)
# OF HOTEL ROOMS	18 ROOMS
# OF PARKING:	NOT PROVIDED
# OF BIKE PARKING	NOT PROVIDED
COMMERCIAL (SF):	53,700 SF



CERMAK ROAD

WABASH AVENUE

MICHIGAN AVENUE

Co Living Lobby/
Leasing/ Mail & Packages

Service/Exit Corridor

Club entry Lobby

Event Space

Restaurant

Utilities / MEP

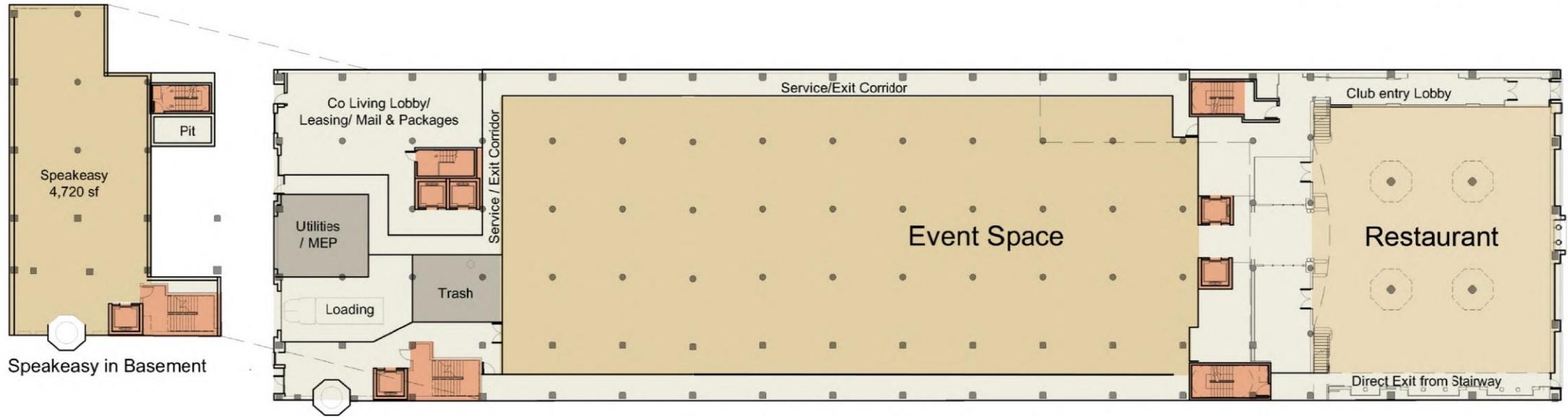
Loading

Trash

Direct Exit from Stairway

0 12.5 25 50

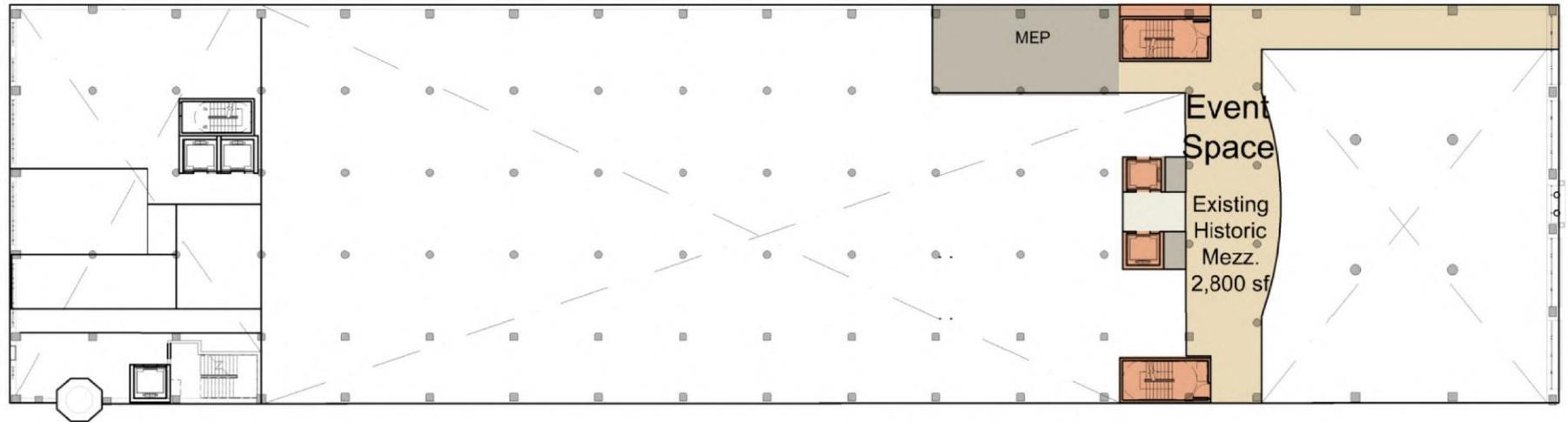




Speakeasy in Basement

Level 1 Plan





Level 1 Mezzanine Plan





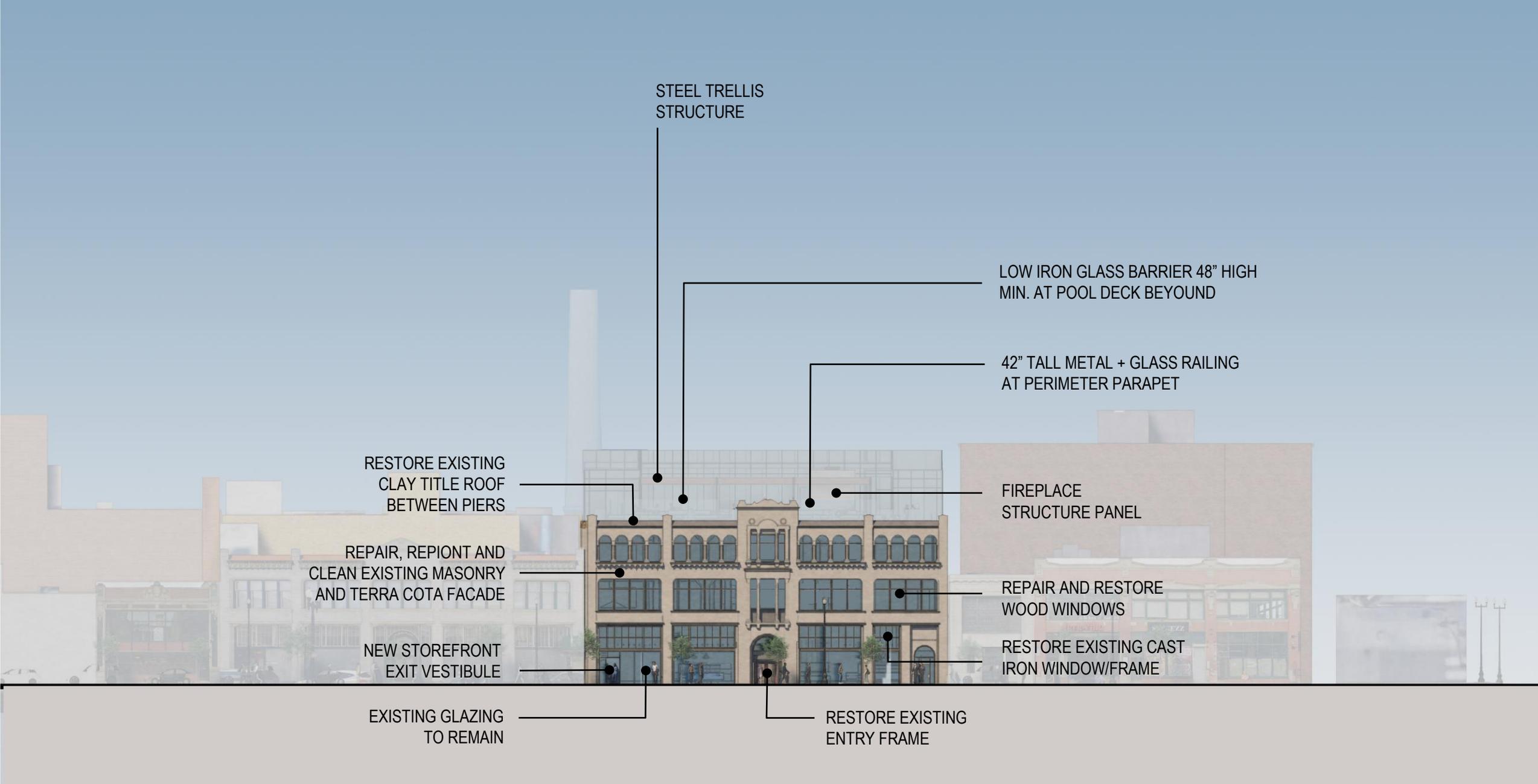
Levels 2&3 Plan





Level 4 Plan





STEEL TRELLIS
STRUCTURE

LOW IRON GLASS BARRIER 48" HIGH
MIN. AT POOL DECK BEYOND

42" TALL METAL + GLASS RAILING
AT PERIMETER PARAPET

RESTORE EXISTING
CLAY TILE ROOF
BETWEEN PIERS

FIREPLACE
STRUCTURE PANEL

REPAIR, REPOINT AND
CLEAN EXISTING MASONRY
AND TERRA COTA FACADE

REPAIR AND RESTORE
WOOD WINDOWS

NEW STOREFRONT
EXIT VESTIBULE

RESTORE EXISTING CAST
IRON WINDOW/FRAME

EXISTING GLAZING
TO REMAIN

RESTORE EXISTING
ENTRY FRAME

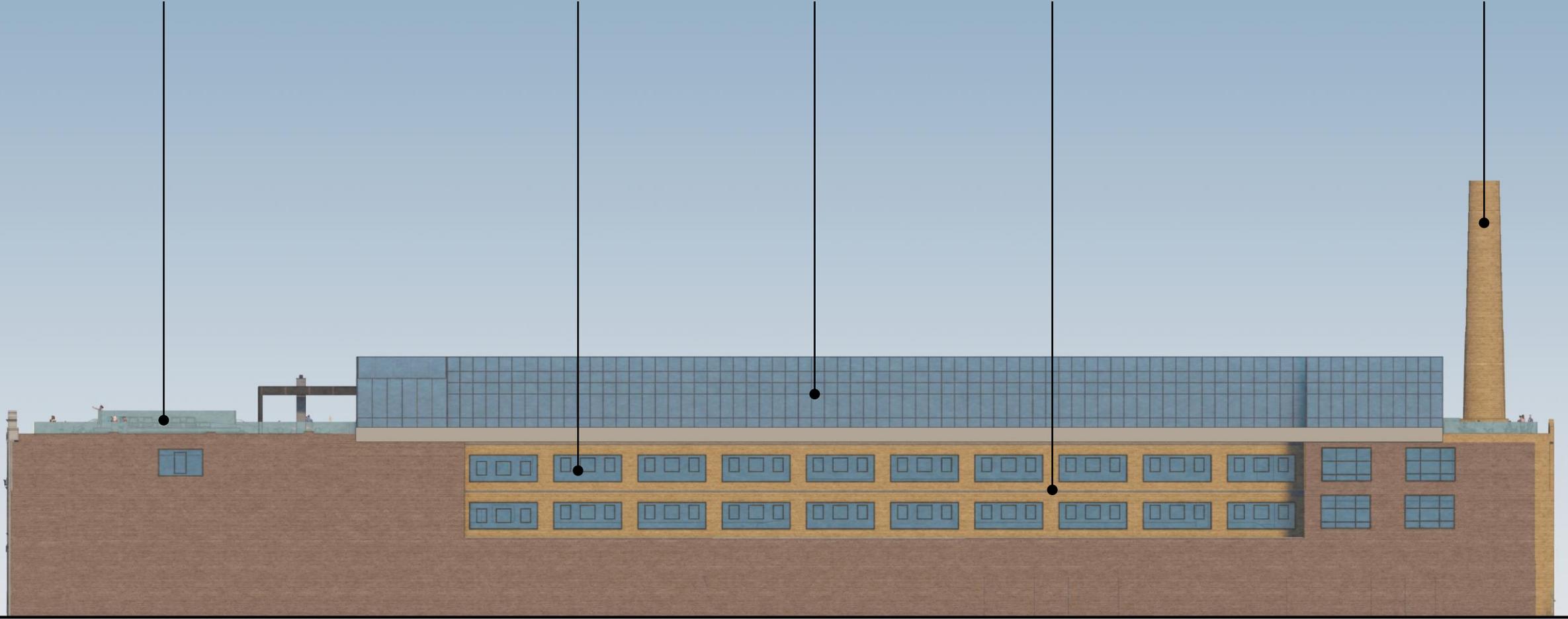
42" TALL METAL + GLASS RAILING
AT PERIMETER PARAPET

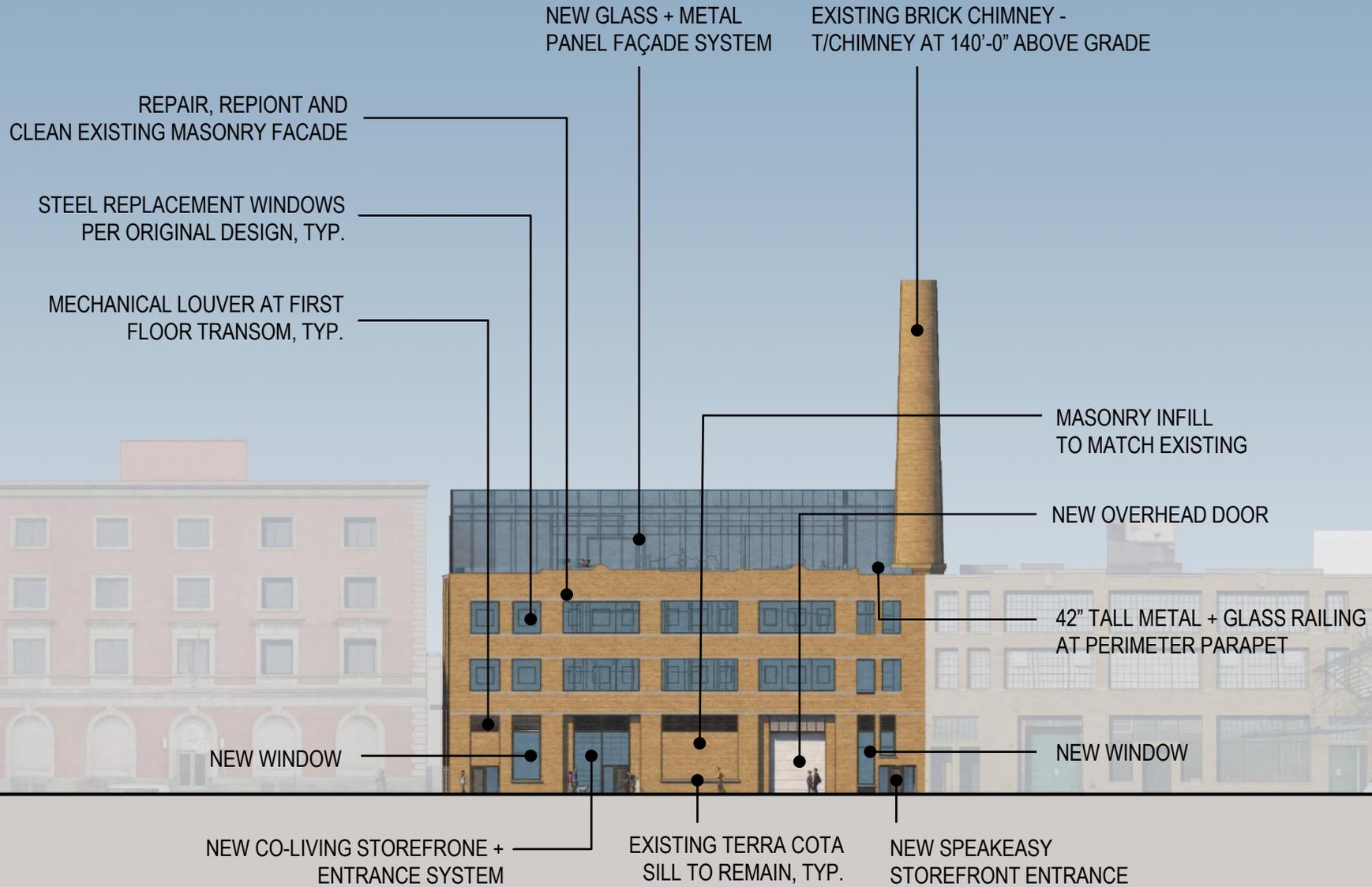
NEW ALUMINUM
WINDOWS

NEW GLASS + METAL
PANEL FAÇADE SYSTEM

NEW BRICK FAÇADE TO
MATCH EXISTING

EXISTING BRICK CHIMNEY –
T/CHIMNEY AT 140'-0" ABOVE GRADE





EXISTING BRICK CHIMNEY –
T/CHIMNEY AT 140'-0" ABOVE GRADE

NEW GLASS + METAL
PANEL FAÇADE SYSTEM

NEW ALUMINUM
WINDOWS

NEW BRICK FAÇADE TO
MATCH EXISTING

48" TALL METAL + GLASS RAILING
AT PERIMETER PARAPET





Compliance Options	Points Required		Sustainable Strategies Menu																																		
	Starting Points	Number of Optional Points Required New Construction / Substantial Rehab / Moderate Rehab	Health	Energy							Stormwater						Landscapes			Green Roofs		Water		Transportation							Solid Waste	Work Force	Wildlife				
Compliance Paths			1.1 Achieve WELL Building Standard	2.1 Designed to earn the Energy Star	2.2 Exceed Energy Code (5%)	2.3 Exceed Energy Code (10%)	2.4 Exceed Energy Code (25%)	2.5 Exceed Energy Code (40%)	2.6 Onsite Renewable Energy (3%)	2.7 Onsite Renewable Energy (5%)	3.1 Exceed Stormwater Ordinance by 25%	3.2 Exceed Stormwater Ordinance by 50%	3.3 100% Stormwater Infiltration	3.4 Sump Pump Capture & Reuse	3.5 100-year detention for lot-to-lot buildings	3.6 100-year Detention for Bypass	4.1 Working Landscapes	4.2 Natural Landscapes	4.3 Tree Planting	4.4 Achieve Sustainable Sites Certification	5.1 Green Roof 50-100%	5.2 Green Roof 100%	6.1 Indoor Water Use Reduction (25%)	6.2 Indoor Water Use Reduction (40%)	7.1 Proximity to Transit Service	7.2 Bikeshare Sponsorship	7.3 Bike Parking Residential	7.4 Bike Parking Commercial & Industrial	7.5 EV Charging Stations	7.6 EV Charger Readiness	7.7 CTA Digital Displays	8.1 80% Waste Diversion	8.2 Workforce Development	9.1 Bird Protection (Basic)	9.2 Bird Protection (Enhanced)		
Options Without Certification																																					
All Options Available	0	100 / 50 / 25	40	30	20	30	40	50	10	20	10	20	40	5	5	5	5	5	5	20	10	20	10	20	5	5	5	5	5	5	5	5	10	5	10	5	10
Options With Certification																																					
LEED Platinum	95	5 / 0 / 0	40	NA	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	NA	NA	NA	20	10	20	NA	NA	NA	5	NA	NA	NA	5	5	NA	10	5	10	5	10
LEED Gold	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10	5	10
LEED Silver	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	20	10	20	NA	NA	20	NA	5	NA	NA	10	5	5	10	10	5	10	5	10
Green Globes 4-Globes	90	10 / 0 / 0	40	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10	5	10	
Green Globes 3-Globes	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	NA	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10	5	10
Green Globes 2-Globes	70	30 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	20	10	20	NA	NA	NA	5	NA	NA	10	5	5	10	10	5	10	5	10	
Living Building Challenge	100	0 / 0 / 0	40	NA	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	NA	NA	NA	20	NA	NA	NA	NA	NA	NA	NA	NA	10	5	NA	NA	10	5	10	5	10
Living Building Challenge Petal	90	10 / 0 / 0	40	NA	20	30	40	50	NA	NA	10	20	40	5	5	5	5	NA	5	20	10	20	10	20	NA	5	NA	NA	10	5	5	10	10	5	10	5	10
Enterprise Green Communities*	80	20 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	20	10	20	10	20	5	5	NA	NA	10	5	5	10	10	5	10	5	10	
PassiveHouse	70	30 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	20	10	20	10	20	5	5	5	5	5	5	10	10	5	10	5	10	5	10

*only available to affordable housing projects funded by DPD's Housing Bureau

Planned Development Projects (PD) - New Construction	100 points required
TIF Funded Development Projects (TIF) - New Construction*	100 points required
DPD Housing, Multi-family (>5 units) Projects (DPD-H MF) - New Construction	100 points required
PD, TIF, DPD-H MF and Class L - Renovation Projects*	
Moderate Renovation Projects	25 points required
Substantial Renovation Projects	50 points required

*does not apply to TIF assistance of less than \$1M (including but not limited to TIF-NIP, TIF Purchase Rehab, Streamlined TIF and SBIF programs)

Moderate Renovation Projects = projects including partial or minor upgrades to building systems and minor repairs to the exterior envelope
 Substantial Renovation Projects = projects including new and/or upgraded building systems and extensive repairs to the exterior envelope

COMPLIANCE: WITHOUT CERTIFICATION		POINT VALUE
SUSTAINABLE STRATEGIES		
1 ENERGY	2.2 EXCEED ENERGY CODE (5%)	20
2 WATER	6.1 INDOOR WATER USE REDUCTION (25%)	10
3 TRANSPORTATION	7.1 PROXIMITY TO TRANSIT SERVICE	5
4 TRANSPORTATION	7.7 CTA DIGITAL DISPLAY	5
5 SOLID WASTE	8.1 80% WASTE DIVERSION	10



Economic & Community Benefits

- Estimated Project Cost: \$62,500,000
- Estimated Permanent / Temporary Jobs: 150 / 150
- Commitment to 26% MBE, 6% WBE, and local hiring goals
- Historic rehabilitation of long-vacant contributing building in Motor Row Historic District
- 8 affordable units on-site (20%) at a weighted average of 60% AMI



DPD Recommendations

The Zoning Administrator recommends that the proposed Residential-Business Planned Development is appropriate for the following reasons:

1. It **complies with all Planned Development standards and guidelines** (17-8-0900 and 17-13-0609-A);
2. It is **compatible with the character of the surrounding area in terms of uses, density and building scale** (17-13-0609-B). The materials, uses and density of the project are consistent with the surrounding land uses and the goals and objectives of the Central Area Action Plan (2009);
3. Public **infrastructure facilities and city services will be adequate** to serve the proposed development at the time of occupancy (17-13-609-C);
4. The proposal is **compatible with surrounding zoning** (17-13-308-D). The proposed planned development is compatible with surrounding zoning districts and planned developments, further, the proposed uses are permitted in the current underlying zoning classification of DX-5;
5. The proposal **promotes transit, pedestrian and bicycle use, ensures accessibility** for persons of all mobilities and minimizes conflicts with existing traffic patterns in the vicinity (17-8-0904-A1)